

Inspection Report

Provided By



Twinspectors

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Inspection Address

77 Effingham Street Tarragindi QLD 4121



6

Minor Defects

0

Major Defects

Report Information

Client Information

Client Name	Brian & Irene Brown
Email	sales@twinspectors.com.au
Total Fee	\$675.00

Inspection Information

Report/Agreement #	2905260517421
Inspection Date:	01 Jun 2026
Inspection Time:	12:00 pm

Building Inspection

Please Note: Inspector identification, licensing details, and *direct contact phone number* relevant to this inspection are included on the *final page* of this report.

The Scope of the Inspection: This report Complies with Australian Standards AS 4349.1-2007. Inspection of Buildings Part 1: Pre- Purchase Inspections-Residential Buildings- Appendix "C"

This report is intended solely for the individual named as the "Client" on the front page. If you have received this report from a third party, you must not rely on its findings or contents. Instead, you are advised to obtain your own independent pre-purchase inspection report, as this report and its contents are non-transferable. Please note that this inspection does not cover items listed in Appendix "D" of AS4349.1-2007.

If the property is part of a Strata or Company Title , then Appendix "B" of the Australian Standards applies.

Special Requirements:

Unless stated otherwise in this report, it is acknowledged that there are no special requirements for this inspection beyond the scope outlined in the abovementioned Australian Standard.

Inspection Agreement:

This report is subject to the terms, scope, description, and limitations of the inspection agreement entered into prior to the inspection. (Note: This agreement may have been entered into by your Solicitor, Conveyancer, or another agent.) If you are uncertain about how the inspection agreement affects this inspection and report, please seek clarification before committing to the property.

Changes to the Inspection Agreement:

Unless stated otherwise in this report, it is acknowledged that no changes have been made between the scope outlined in the pre-inspection agreement and the scope of this inspection report.

Please ensure you read the entire report, including the terms and conditions, as they form an integral part of the document.

Areas to be Inspected and Restrictions

The building and site, including fencing up to 30 meters from the building and within the boundaries of the site, are included in the inspection where present and accessible. The inspection encompasses the following areas:

- (a) The interior of the building.
- (b) The roof space.
- (c) The exterior of the building
- (d) The sub-floor space
- (e) The roof exterior
- (f) The property within 30 m of the building subject to inspection.

Visual Inspection Only

This inspection is non-invasive and visual only, limited to areas and sections of the property that were fully accessible and visible to the inspector on the inspection date. The inspection does not include breaking apart, dismantling, removing, or moving objects, including but not limited to:

Foliage, mouldings, roof insulation/sisalation.

Floor or wall coverings, sidings, ceilings, or floors.

Furnishings, appliances, or personal possessions.

The inspector cannot view inside walls, between floors, inside skillion roofing, or behind stored goods in cupboards and other concealed or obstructed areas. No invasive procedures such as digging, gouging, or destructive probing of visible timbers were conducted without written permission from the property owner.

Important Note to the Purchaser

If certain areas were inaccessible (e.g., locked rooms or restricted spaces), structural defects, termite damage, or activity may be present but remain unseen. It is strongly recommended to:

Request access to any restricted or inaccessible areas from the vendor.

Arrange a follow-up or re-inspection to cover these areas before finalizing the contract of sale.

This should be completed before making a purchasing decision to ensure a comprehensive assessment of the property.

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Summary Of Minor Defects

Below is a summary of defects other than Major defects.

The # denotes to the defect number in the report

Section	Location	Name	Comment
SITE	Surface Drainage	Drainage Findings	#1. The ground levels along the perimeter walls at the front of the home did not appear to fall away from the property walls sufficiently due to the natural landscape and contour. This will need to be assessed during a period of rainfall and if surface water appears to be entering the sub floor if applicable or ponding against the perimeter walls, engage a plumber or landscaper to assess and rectify as required. All drains should be regularly checked by a plumber and kept clean of debris to allow surface water to be carried away from the dwelling.
EXTERIOR	Walls	Condition	#2. fibro cement window trim coming loose near subfloor entry contact licensed carpenter for repair repairs
STAIRS- PERGOLA- BALCONIES- DECKS	Stairs & Steps	Balustrade and Rails	#3. There are no rails on the stairs. This presents a fall risk. Recommended to install
STAIRS- PERGOLA- BALCONIES- DECKS	Balcony Findings	Overall Condition	#4. Additional sealant or waterproofing may be necessary on top floor balcony edge coping contact licensed tiler or waterproofing contractor for repair repairs
INTERIORS	Bedroom 2	Windows	#5. The opening limiter/restrictor is missing. Ensure one is installed to every window with accord to state requirements. Window openings should not exceed 125mm. In some circumstances, we strongly advise you to rectify to comply with safety concerns to young children. This has been identified in most upstairs bedrooms.
CONCLUSION	Condition Of Inspected Structure	The Incidence of Minor Defects	#6. The incidence of minor defects in this residential building as compared with similar buildings is considered LOW



SITE

Driveway

Materials

The driveway is concrete.

Driveway Condition

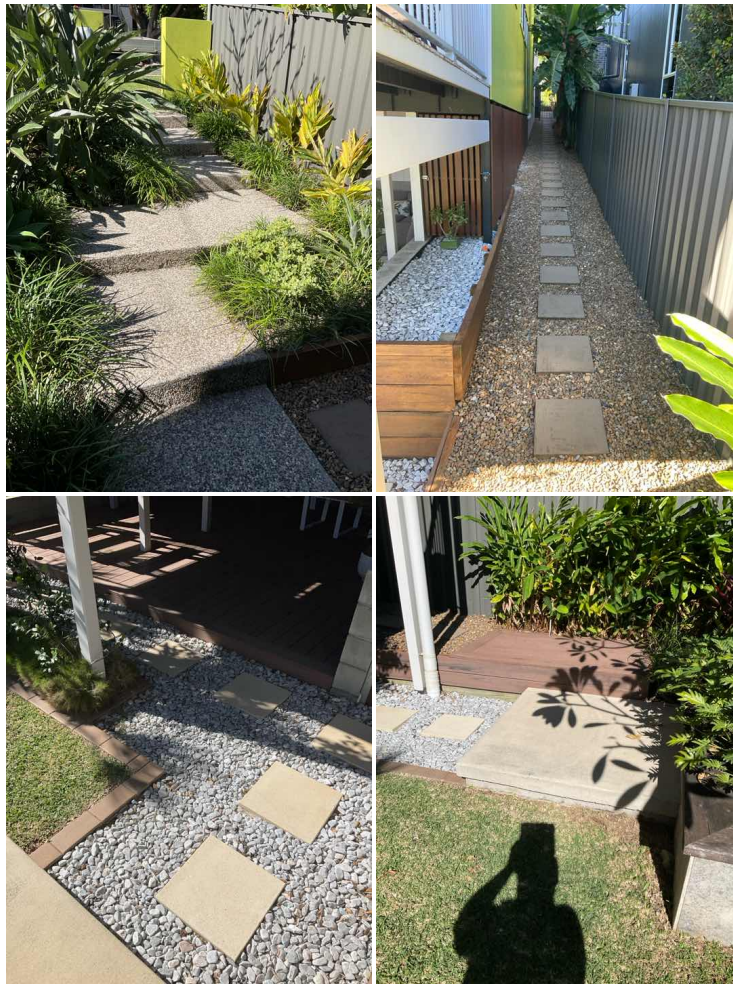
On visual inspection, the general condition of the driveway is serviceable.



Paths

Pathways Condition

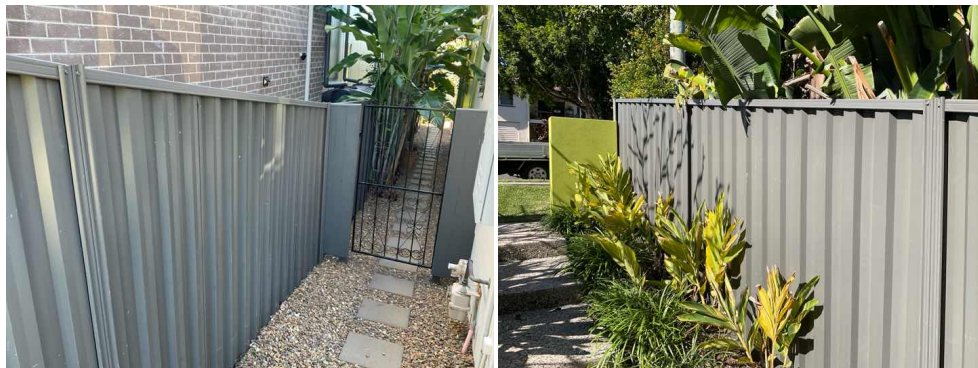
The paths around the home are in a serviceable condition for the age of this dwelling with no major defects visible.

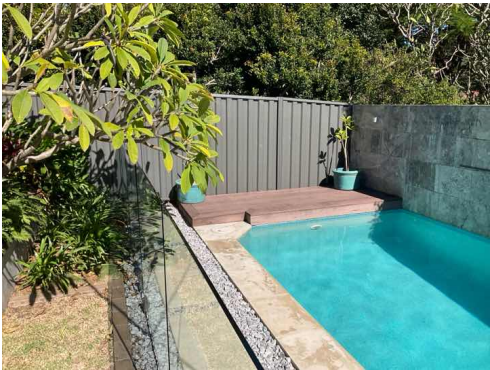


Fences & Gates

Overall Condition

Impact damage noted to some fence panels.







Retaining Walls

NOTE

As per Section 3.21 and appendix C6 of Australian Standards AS4349.1-2007 only retaining and landscaping walls over 700mm high shall be inspected.

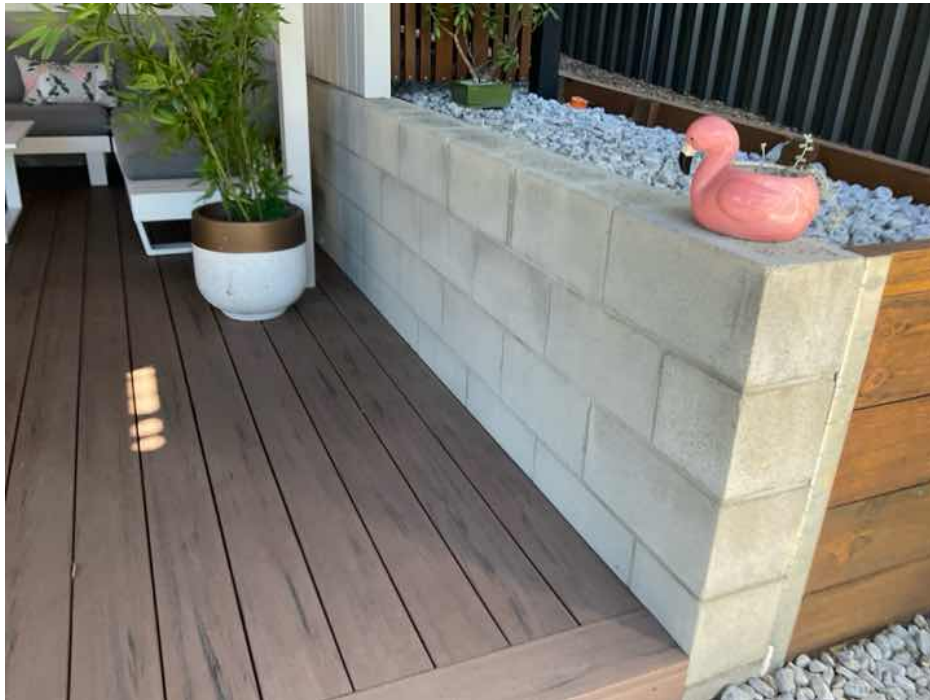
Retaining walls were only inspected from within the boundary. Retaining walls that are not visible from within the boundary have not been inspected. Permission from adjoining properties should be obtained for these areas to be inspected.

Material

The retaining wall is a concrete block construction.

Overall Condition

Of the visible areas, the general condition is serviceable or in reasonable condition for age of dwelling.





Surface Drainage

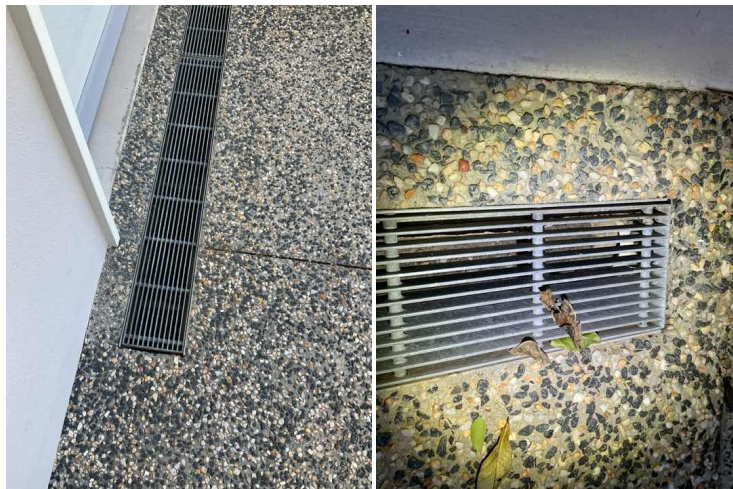
Drainage Findings

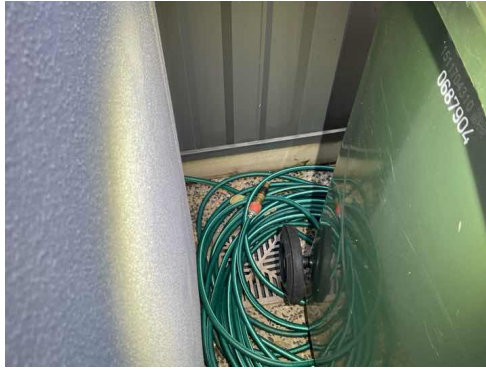
#1. The ground levels along the perimeter walls at the front of the home did not appear to fall away from the property walls sufficiently due to the natural landscape and contour. This will need to be assessed during a period of rainfall and if surface water appears to be entering the sub floor if applicable or ponding against the perimeter walls, engage a plumber or landscaper to assess and rectify as required. All drains should be regularly checked by a plumber and kept clean of debris to allow surface water to be carried away from the dwelling.



Drains

No evidence of slow or blocked drains at the time of inspections.





Trees

Tree Findings

Trees are close to the dwelling. These currently do not appear to have caused any defects/wall cracking.



ROOF AND GUTTER

Roof Covering

General Disclaimer

Refer to Section 2C of the Terms And Conditions section of this report

Roof Covering Type

Metal roof cladding

Overall Condition

Not inspected as too high to reach by ladder. Viewed from a distance.



Guttering

Gutter Findings

All visible and accessible of the physical nature of the guttering system appears to be in a serviceable condition with no apparent defects at the time of inspection. In the absence of prolonged rain fall efficiency of the guttering can not be assessed and you may find that further investigation or repairs maybe required. Note: Periodic maintenance checks should be carried out for rust penetrations and leaks.

Downpipes

Downpipe Findings

On visual inspection no apparent defects were noted to the down pipes and are considered serviceable, however no comment can be made with regard to blockages or connections to stormwater or functionality in the absence of rain. Note: Periodic maintenance checks should be carried out for rust penetrations and leaks.



HOT WATER SYSTEM

Hot Water Unit

Hot Water Unit Findings

The hot water system appears to be in a serviceable condition. No specific tests other than running the hot water from a tap was carried out. No determination has been made as to the suitability or adequacy of the hot water system in relation to capacity or otherwise.

System Location

The hot water unit is located outside.

System Type

The hot water unit is a gas instantaneous system.

System Make

The make of the hot water unit is rinnai.



System Capacity

Unable to determine , no label

System Year of Manufacture

Unable to ascertain.

Traditional storage tank water heaters have a life span of **around 10 years**. Tankless hot water systems such as instantaneous hot water systems can last up to 20 years.

External Plumbing Pipes

Plumbing Pipes

No access to the side of the property where the hot water unit is as such inspection not possible.



EXTERIOR

External Door Components

Door Findings

On Visual Inspection the external condition of the doors is serviceable.

Walls

General Disclaimer

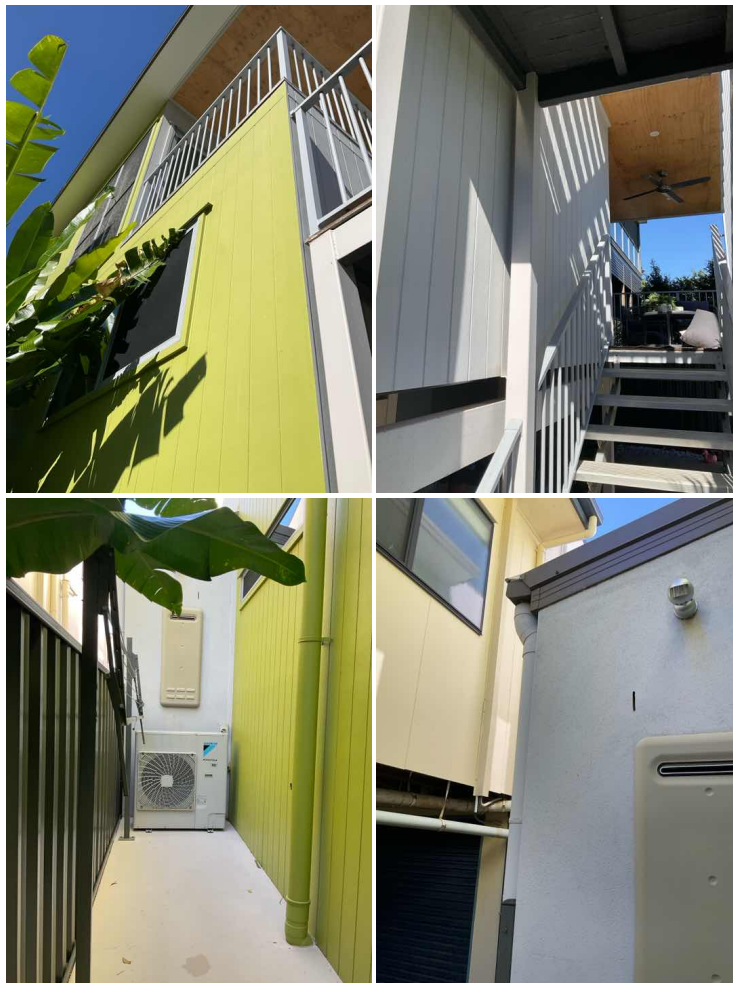
Refer to Section 2D of the Terms And Conditions section of this report.

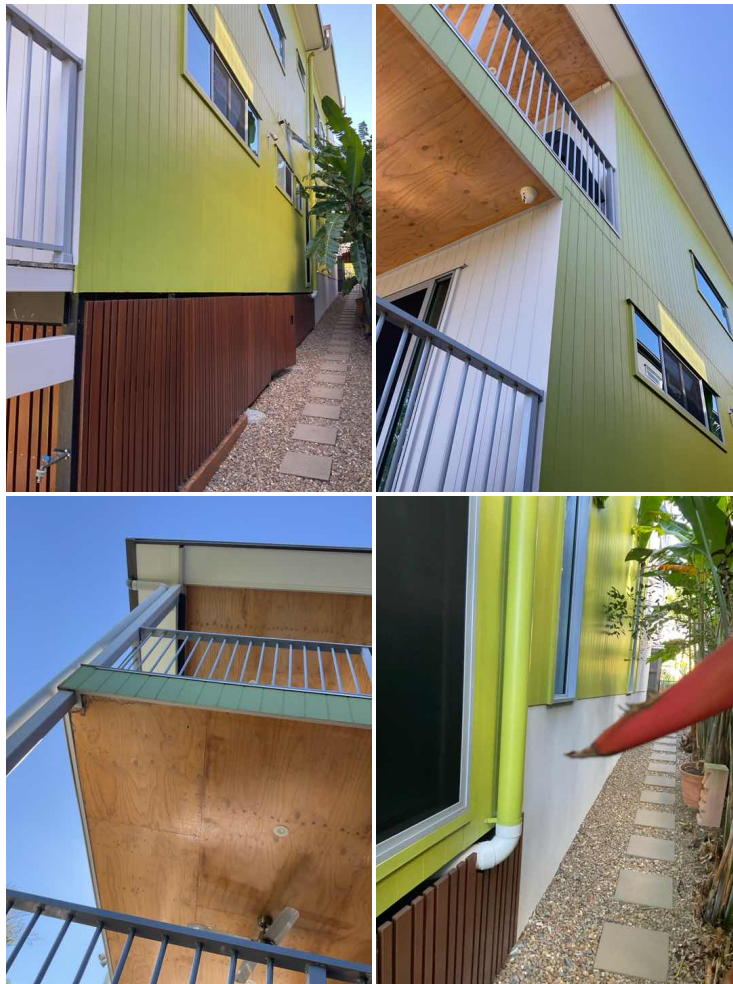
Exterior Wall Material

Fibro cement sheeting

Rendered light weight materials

Rendered masonry.





Condition

#2. fibro cement window trim coming loose near subfloor entry contact licensed carpenter for repair repairs





Windows

General Disclaimer

Please refer to section 2D of the Terms And Conditions Section of this report

Overall Condition

On visual inspection, the general condition of the windows is serviceable for the age.





Eaves

Eave Condition

The soffit lining (eaves) are in a serviceable condition with no notable defects.



Fascia and Barge Boards

Condition

On visual inspection, the general condition of the fascia/barge boards is serviceable.

Alfresco Area

Overall Condition

Visible sections of the Alfresco area are serviceable or in reasonable or condition for the age of this dwelling.





GARAGE - CARPORT

Garaging

Overall Condition

From the visible and accessible areas, the garage appears to be in a serviceable condition for the age of the property with no notable structural defects sighted.



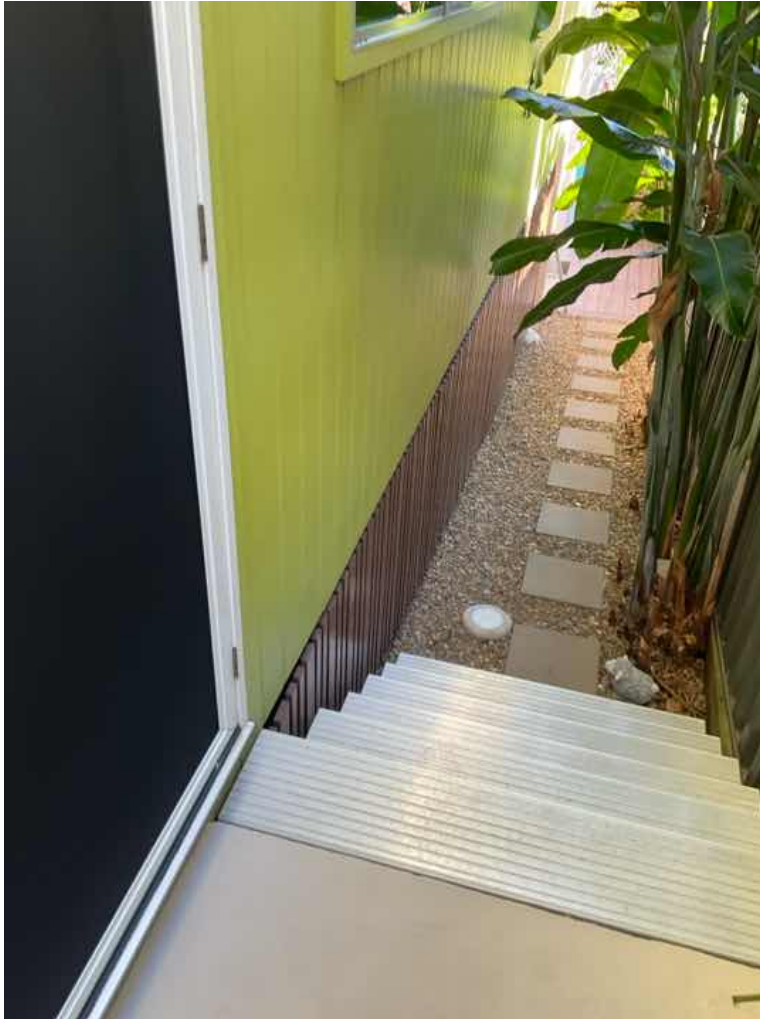


STAIRS- PERGOLA- BALCONIES-DECKS

Stairs & Steps

Balustrade and Rails

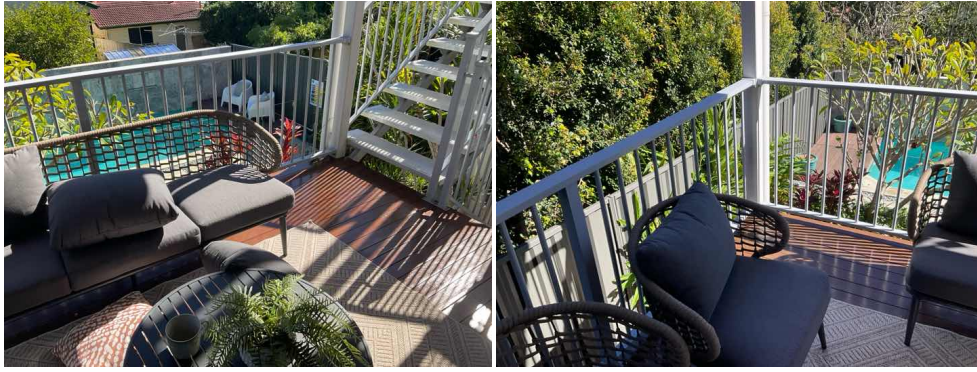
#3. There are no rails on the stairs. This presents a fall risk. Recommended to install



Decking Findings

Overall Condition

Of areas visible, the decking appears to be in a serviceable condition.

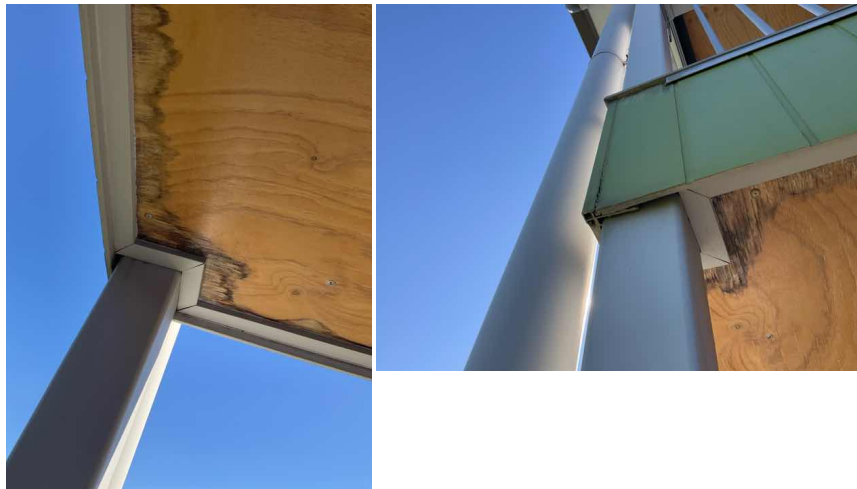


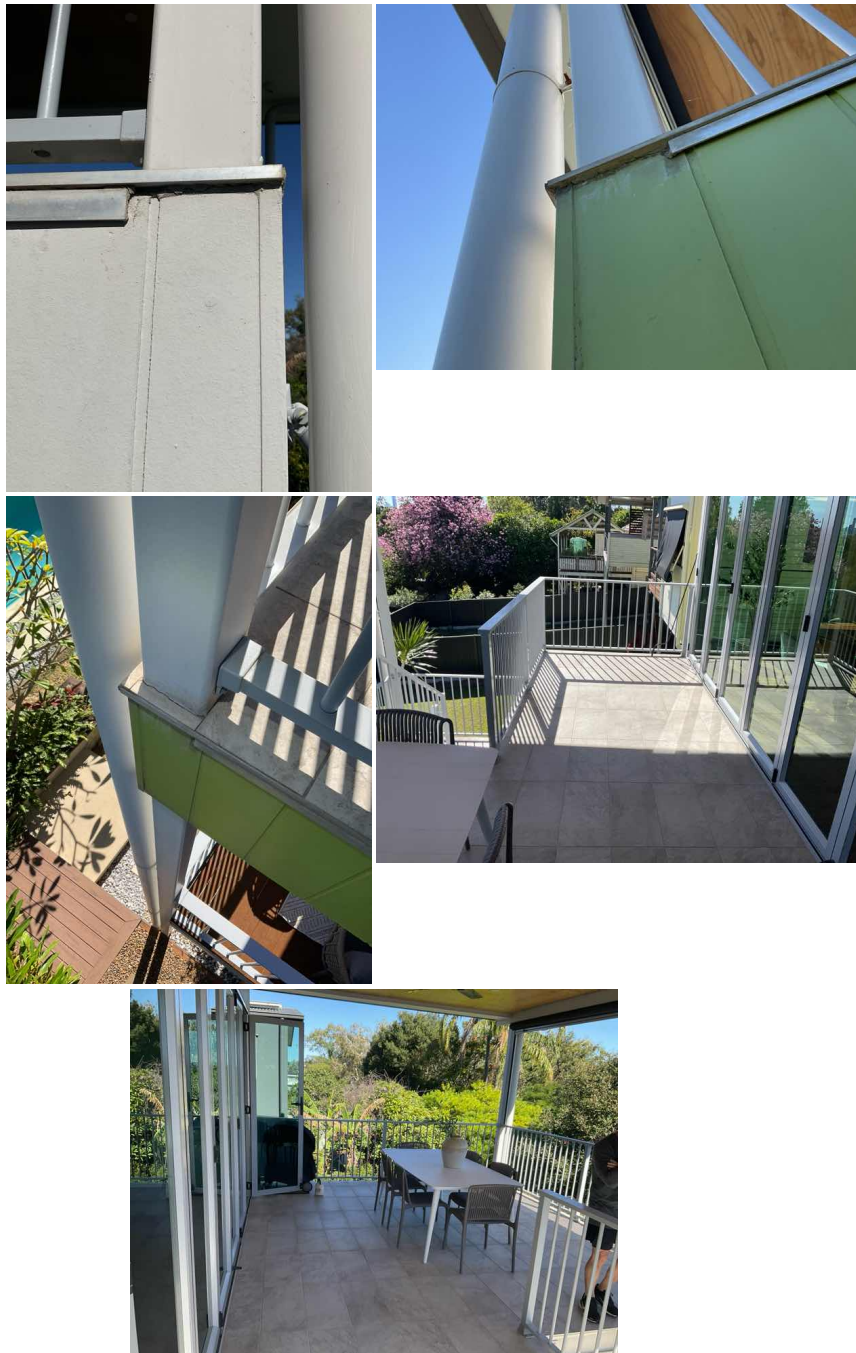
Balcony Findings

Overall Condition

On inspection, defects were present that will require further assessing and recommendations by licensed and qualified trades persons, please read below for details.

#4. Additional sealant or waterproofing may be necessary on top floor balcony edge coping contact licensed tiler or waterproofing contractor for repair repairs





General Disclaimer

Please refer to section 2H of the Terms And Conditions section of this report.



INTERIORS

Smoke Alarm

Was a Smoke Alarm Fitted

Yes, smoke alarms was sighted but not tested.

Legislation requires smoke Alarms to be installed. Check with your local council regarding type, locations and other related requirements.

Please refer to <https://www.qfes.qld.gov.au/sites/default/files/2021-04/New-Smoke-Alarm-Legislation.pdf> for the new legislation regarding smoke detectors as at 1st January 2022.



Combined Living & Dining

Overall Condition

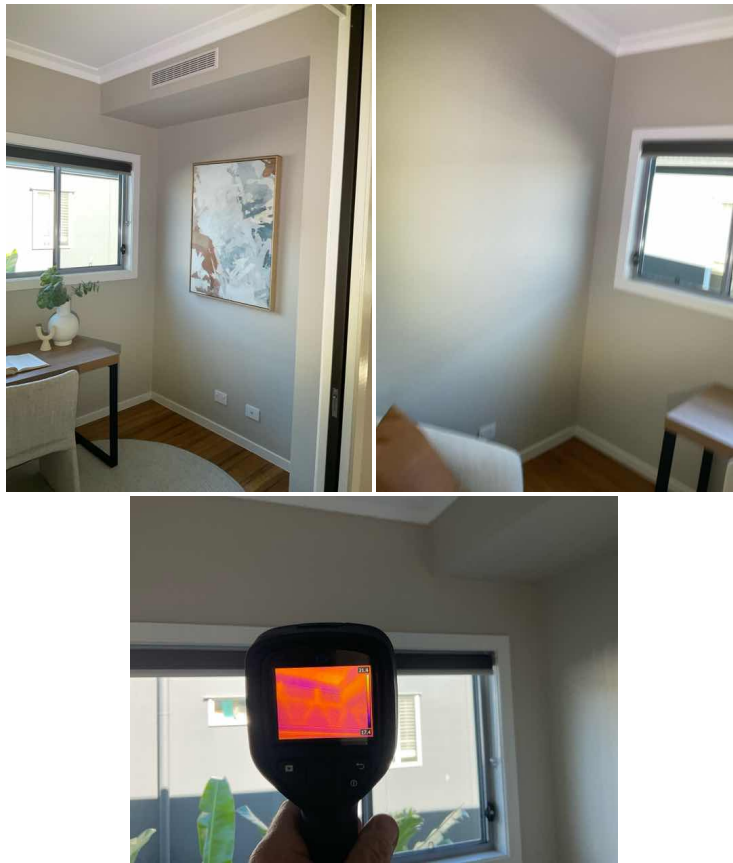
From the visible and accessible areas, this room appears to be in a serviceable condition for the age of the property with no notable structural defects sighted.



Study/Office

Overall Condition

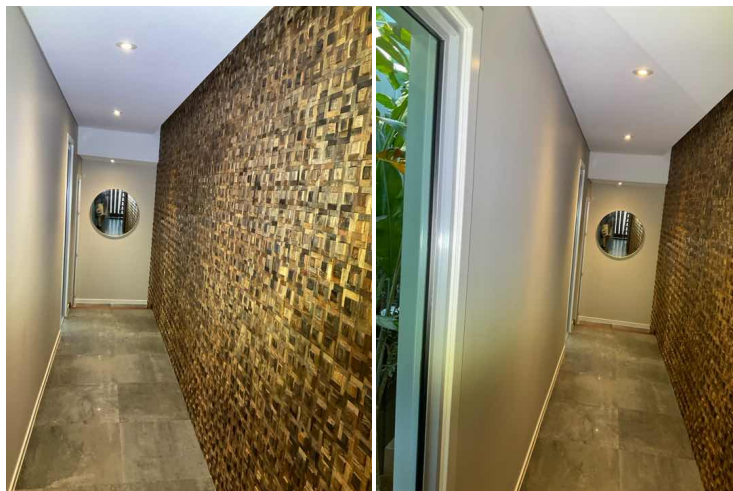
From the visible and accessible areas, this room appears to be in a serviceable condition for the age of the property with no notable structural defects sighted.



Hallway/s

Overall Condition

From the visible and accessible areas, the hallway/ appears to be in a serviceable condition for the age of the property with no notable structural defects sighted.





Internal Stair Case

Condition

The internal staircase and components appear to be in a serviceable condition for the age with no notable defects sighted.



Bedroom 1

Overall Condition

From the visible and accessible areas, this bedroom appears to be in a serviceable condition for the age of the property with no notable structural defects sighted.



Bedroom 2

Overall Condition

On inspection, defects were present that will require further assessing and recommendations by a qualified trades persons, please read below for details.



Windows

#5. The opening limiter/restrictor is missing. Ensure one is installed to every window with accord to state requirements.

Window openings should not exceed 125mm. In some circumstances, we strongly advise you to rectify to comply with safety concerns to young children.

This has been identified in most upstairs bedrooms.



Bedroom 3

Overall Condition

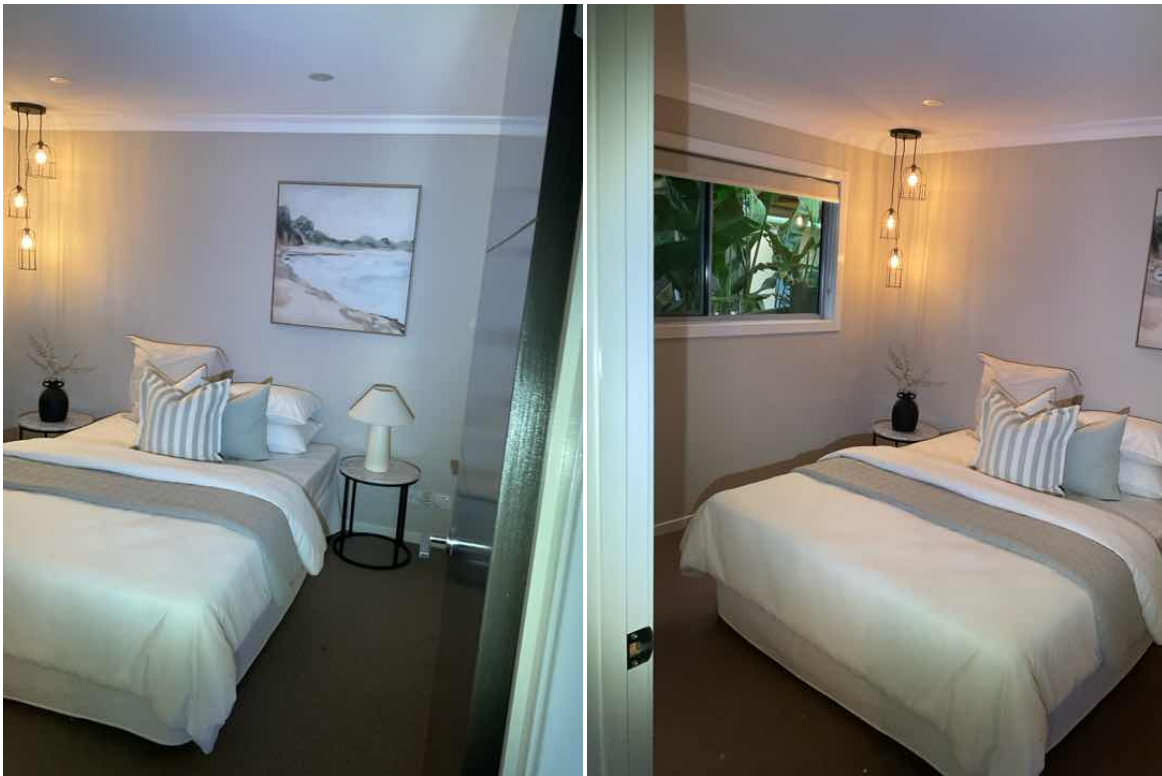
From the visible and accessible areas, this bedroom appears to be in a serviceable condition for the age of the property with no notable structural defects sighted.



Bedroom 4

Overall Condition

From the visible and accessible areas, this bedroom appears to be in a serviceable condition for the age of the property with no notable structural defects sighted.



Multi Purpose Room

Overall Condition

From the visible and accessible areas, this bedroom appears to be in a serviceable condition for the age of the property with no notable structural defects sighted.





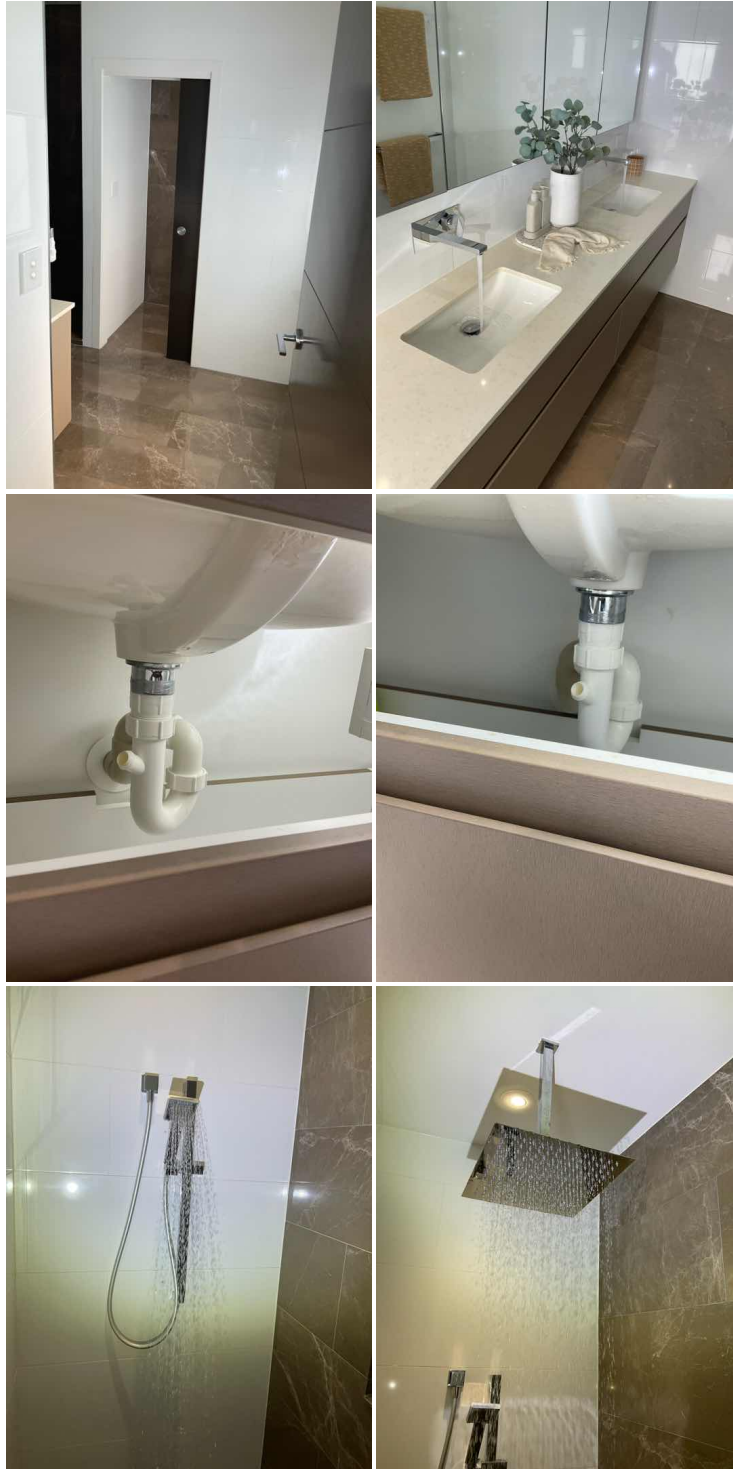


BATHROOM(S)

Bathroom 1

Location

This bathroom is located in the master bedroom.





Important Disclaimer

Refer to Section 7 of the Terms And conditions section of this report with regard to all Bathrooms.

Wc

Overall Condition

Of the visible areas, the general condition of this bathroom is serviceable or in reasonable condition for age of dwelling.



Bathroom 2

Overall Condition

Of the visible areas, the general condition of this bathroom is serviceable or in reasonable condition for age of dwelling.



Toilet/Outhouse

Overall Condition

Of the visible areas, the general condition of this bathroom is serviceable or in reasonable condition for age of dwelling.



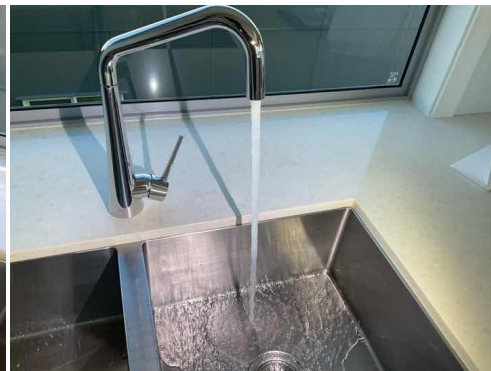


KITCHEN & LAUNDRY

Kitchen and Pantry.

Overall Condition

Of the visible areas, the general condition of the kitchen and pantry is serviceable or in reasonable condition for age of dwelling.





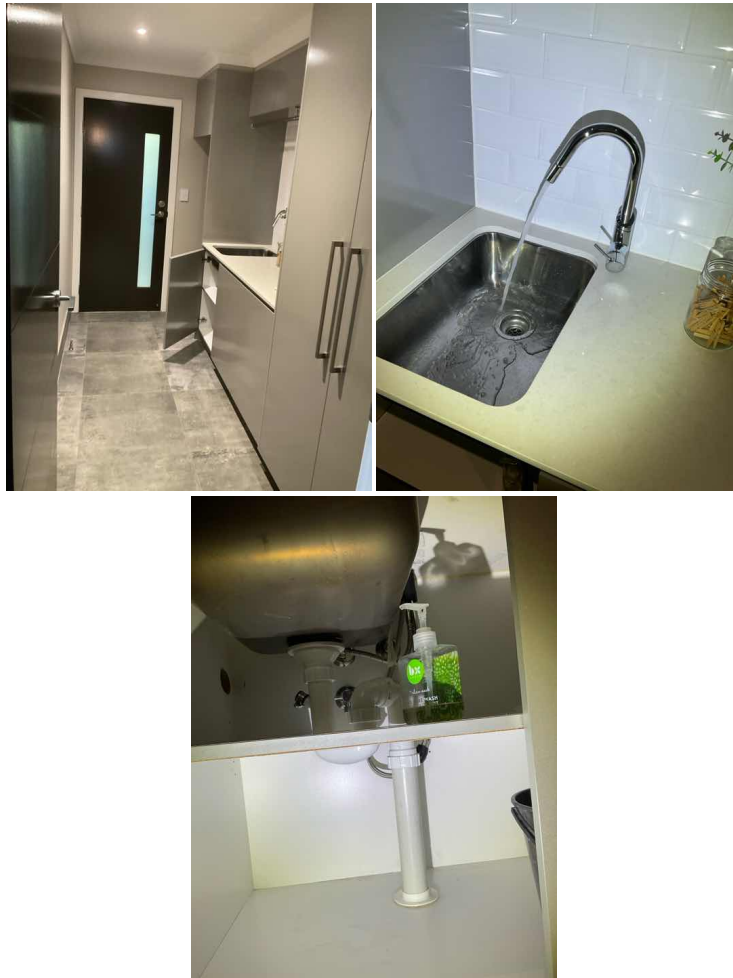
Laundry

General Disclaimer

Laundry appliances are not tested or moved during the inspection and the condition of any walls or flooring hidden by them cannot be judged. Drain lines and water supply valves serving washing machines are not operated.

Overall Condition

Of the visible areas, the general condition of the laundry is serviceable or in reasonable condition for age of dwelling.





ROOF VOID

Roof Void Findings

General Disclaimer

Please refer to section 2B of the Terms And Conditions section of this report.

Restricted Areas

There is heating and/or cooling ducting present in the roof space. This is preventing a full inspection from being undertaken. It is strongly recommended that full access be gained as it could be harbouring timber pest activity, damage or defects.

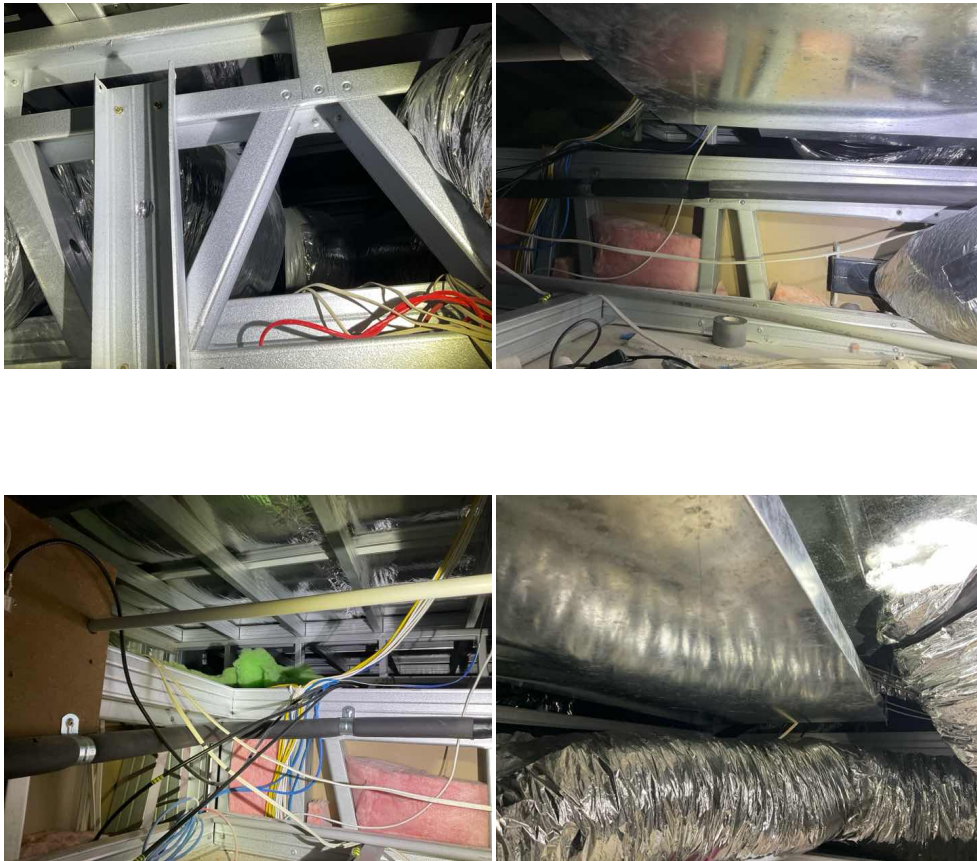
There is low clearance in areas throughout the roof void which is preventing a full/thorough visual inspection taking place. It is strongly recommended that full access be granted to enable a thorough inspection to take place as it could be harbouring timber pest activity, damage or defects.

Roof Frame Type

The roof frame is a truss steel frame.

Overall Condition

Viewed from out side due to restricted entry. No comment can be made regarding condition





Insulation

Type

The roof space is insulated with fibreglass batts.

Condition

Where visible and accessible, the insulation appears to be in a serviceable condition.

Sarking

Sarking is installed.

Sarking, a flexible membrane positioned beneath roof tiles, functions as a shielding layer akin to a second skin. Enhancing insulation efficiency, it safeguards against elements such as storm-driven rain (Leaks), dust, condensation, and embers during bushfires.



SUBFLOOR

Access and Restrictions

Restricted Areas

Underside of timbers could not be inspected as they were concealed by insulation. There may be issues there. We recommend re-inspection with all timber members visible.



Sub-Floor Observation.

General Condition

Of areas accessible and visible, the subfloor and components appeared to be in a serviceable condition.







CONCLUSION

Condition Of Inspected Structure

Overall Condition

The overall condition of this building has been assessed in comparison to similarly constructed buildings of approximately the same age, provided those buildings have been maintained through a regular program to ensure that structural elements remain fit for purpose.

The summary lists of major and minor defects included in this report reflect the professional opinion of the inspector. Please note that opinions regarding what constitutes a major or minor defect may vary between inspectors or individuals.

Condition Comparison

The incidence of major and minor defects, as well as the overall condition of this residential building, is outlined below in comparison to similar buildings of the same age and type.

For definitions and further clarification, please refer to the TERMS AND CONDITIONS section of this report.

General Maintenance and Upkeep of This Property

The general maintenance and upkeep of this property is considered: **ABOVE AVERAGE**

The incidence of Major Defects

The incidence of major defects in this residential building as compared with similar buildings is considered **LOW**

The Incidence of Minor Defects

#6. The incidence of minor defects in this residential building as compared with similar buildings is considered **LOW**

The Overall Condition Of This Dwelling

The overall condition of this residential dwelling in the context of its age, type and general expectations of similar properties is **AVERAGE TO ABOVE AVERAGE**



PROPERTY AND INSPECTION INFORMATION

Weather at Inspection Area

Weather Conditions

The weather was fine and dry at the time of the inspection.

Property Information

Direction House Faces

The dwelling faces East for the purposes of this inspection report.

Building Type

The structure is a residential house.

Construction Type

The walls are of rendered light weight materials.

Rendered masonry.

Fibro Cement Sheeting

Roof Cladding

The roof is metal.

Roof Design

The roof is a pitched roof design.

Footings Type

Slab on ground construction.

Steel post and beam.

Steel stump footings.

Storeys

Two storey dwelling.

Property Occupied

The property was not occupied.

Property Furnished

The property was partially furnished/staging furniture.

People Present

The estate agent was present.

The Client was present.

A pest inspector was present.

Access and Restrictions

Inspected Areas

Building exterior.
 Building interior.
 The garage.
 Lower level roof exterior.
 The Roof void.
 The site.
 The sub-floor.

Area Where Inspection Was Restricted

Furniture and belongings restricted full visual inspection of the building interior.
 Storage/Vehicles restricted full visual inspection on the garage.
 Clearances, ducting and insulation restricted full visual inspection of the roof void, where applicable.
 Height restrictions and/or safety concerns restricted full and visual inspection of the roof exterior.

Areas Not Inspected

Second storey roof due to height restrictions.
 Inaccessible roof void sections due to access limitations and or insulation and ducting.
 Under timber decks

Utility Status

Water

The water was Connected. All plumbing pipe installation should be assessed by a licensed plumber.

Electricity

Electricity to the dwelling was connected. Note: We do not carry out electrical inspections for wiring or safety. This must be carried out by a licensed electrician and I recommend you have all electrical wiring and components assessed by a licensed electrician.

A Safety Switch has been installed but has not been inspected as part of this inspection.

Note: This report states only on the physical presence of a safety switch module. Whether or not the switch is functional is not stated or implied in the report. When there is a safety switch reported as being present, it would be advisable to consult a licensed electrician to ensure that the unit has been installed correctly and is functioning correctly in all circuits and to the required specification.





TERMS AND CONDITIONS

The purpose of the inspection is to identify the visible major defects and safety hazards associated with the property at the time of the inspection. The inspection and reporting is limited to a visual assessment of structure in accord with AS 4349.1 appendix "C" or if not a pre-purchase report then the report complies with AS4349.0. This is a general appraisal only and cannot be relied on its own, a further inspection by specialist and qualified trades is strongly recommended.

NOT A PEST REPORT: This inspection and report will not inspect, seek or attempt to identify timber pest activity or damage. We strongly recommend you obtain a timber pest inspection conducted by a licensed and suitably qualified pest inspector.

DEFINITIONS AND TERMINOLOGY

SERVICEABLE: The building material or component is in reasonable or serviceable condition for the age of the dwelling.

TRADESMAN: A defect or a number of defects were visible that will require assessment by a qualified trades person.

AGE: The component has deterioration due to ageing or lack of upkeep and or maintenance.

MONITOR: Some defects may require monitoring to ascertain if the defect will worsen, reappear or cause further problems.

STRATA: In the case of strata and company title properties, the inspection is limited to the interior and immediate exterior of the particular unit being inspected report.

HIGH: The frequency and/or magnitude of defects are beyond the inspector's expectations when compared to similar buildings of approximately the same age that have been reasonably well maintained.

TYPICAL: The frequency and/or magnitude of defects are consistent with the inspector's expectations when compared to similar buildings of approximately the same age, which have been reasonably well maintained.

LOW: The frequency and/or magnitude of defects are lower than the inspector's expectations when compared to similar buildings of approximately the same age that have been reasonably well maintained.

ABOVE AVERAGE: The overall condition is above that consistent with dwellings of approximately the same age and construction. Most items and areas are well maintained and show a reasonable standard of workmanship when compared with buildings of similar age and construction.

AVERAGE: The overall condition is consistent with dwellings of approximately the same age and construction. There will be areas or items requiring some repair or maintenance.

BELOW AVERAGE: The building and its parts show some significant defects and/or very poor workmanship and/or long-term neglect and/or defects requiring major repairs or reconstruction of major building.

SIGNIFICANT ITEMS: An item that must be reported in accordance with the scope of the inspection.

MAJOR DEFECT: A defect of sufficient magnitude requiring building works to avoid unsafe conditions, loss of function or further worsening of the defective item.

MINOR DEFECT: Any defect other than what is described as a Significant Item or major defect.

SAFETY HAZARD: A defect that presents unsafe conditions and must be reported as a Major defect.

ACCESSIBLE AREA: Is any area of the property and structures allowing the inspector safe and reasonable access within the scope of the inspection.

LIMITATION: A factor that prevents full or proper inspection of the building.

IMPORTANT INFORMATION

This report outlines the scope and limitations of the inspection. It consists of a visual assessment aimed at identifying major defects and assessing the property's general condition at the time of inspection. Cost estimates for rectification work are not included as per Australian Standard AS 4349. For properties within Strata or Company Titles, the inspection is limited to the interior and immediate exterior of the specific residential unit, excluding common areas. It's crucial to conduct a re-inspection if the sale contract becomes binding more than 30 days after the initial assessment. This report is intended solely for the individual named in the CLIENT INFORMATION section, and any reliance on it by real estate agents is discouraged. Additionally, any reported a structural engineer for further assessment and advice should evaluate cracking. Please refer to section 2G for details on Cracking of Building Elements.

Acceptance Criteria: The building shall be compared with a building that was constructed in accordance with the generally accepted practice at the time of construction and which has been maintained such that there has been no significant loss of strength and serviceability.

Limitations: This report is based on a limited visual inspection of accessible areas only, following safety protocols and AS4349 guidelines. Its purpose is to advise potential buyers on the property's condition at the time of inspection. While it covers all safe and accessible areas, it does not assess geological, structural, or service system aspects. It's recommended that qualified contractors evaluate electrical, plumbing, gas, and motorized appliances before purchase. The inspection primarily focuses on the main structure and nearby buildings within 30m of the site, including fences.

Safe and Reasonable Access: Inspections were conducted only in areas with safe and reasonable access, as defined by AS4349.1 or AS4349.0. This includes spaces where unobstructed access is provided, adhering to specified clearances being Roof Interior- Access opening 400 x 500 mm - Crawl Space 600 x 600mm - Height accessible from a 3.6m ladder. Roof Exterior- Must be accessible from a 3.6m ladder placed on the ground. However, access does not entail removing screws or bolts, using invasive methods, or moving heavy furniture. For roof inspections, specific access dimensions and ladder requirements apply, ensuring safety and compliance.

1) NOT A CERTIFICATE OF COMPLIANCE: This report does not cover every aspect of the building. It aims to identify obvious or significant defects present at the time of inspection. The significance of a defect depends largely on the age and type of the building. It does not serve as a certificate of compliance with any regulations or acts, nor is it a structural report. For structural advice, consulting a structural engineer is recommended.

2) VISUAL INSPECTION: This is a visual inspection only limited to those areas and sections of the property safe that are fully accessible safe to access and visible to the inspector on the date of inspection.

2a) **Restricted Areas:** Some areas listed in the report may have been inaccessible due to factors like storage, furniture, or limited access. Defects or damage may exist in these areas. Removal of obstacles like ducts or floorboards may be necessary for a thorough inspection, requiring permission from the property owner. We do not guarantee the absence or presence of defects, termite damage, or live termites in uninspected areas. Review the entire inspection report and ensure to contact us with any questions before making a purchase decision.

2b) **Entering attics or roof voids** that are insulated can cause damage to the insulation and attic framing. Attics with deep insulation cannot be safely inspected due to limited visibility of the framing members upon which the inspector must walk. In such cases, the attic is only partially accessed, thereby limiting the review of the attic area from the hatch area only. Inspectors will not crawl the attic area when they believe it is a danger to them or that they might damage the attic insulation or framing. There is a limited review of the attic area viewed from the hatch only in these circumstances.

2c) **Roof Inspection Limitations:** The inspector will not walk on the roof if it's deemed unsafe, which can be due to factors like height, pitch, or slippery surfaces. This limitation may result in hidden defects. The inspector provides an opinion on the overall condition of the roofing material but does not guarantee against leaks. Observing the roof during rainfall is the only sure way to determine its watertightness, which is often not possible during inspections. Therefore, we offer no guarantee against future leaks.

2d) **Limitations to Exterior Inspection:** This is a visual inspection that examines a representative sample of exterior components, not every occurrence. Geological, geotechnical, hydrological, and environmental conditions are not assessed. Certain features like screening, shutters, fences, and recreational facilities are excluded unless specified. We cannot guarantee that any visible wall cracks will not worsen over time; consult a structural engineer for advice.

2e) Timber framed windows may bind or stick, often due to changes in moisture content. If binding persists, a carpenter may need to make adjustments. While not usually a major defect, binding windows can sometimes indicate footing settlement issues. If fungal decay or deteriorated putty seals are present, the consultant won't operate windows to avoid damage. Sticking or paint-sealed windows won't be forced open. Water leaks around windows can't be assessed without rain.

2f) Carpets, floor coverings, cupboards, and other fixtures, potentially obscuring defects in the flooring or walls may hinder internal inspections. Damage may remain undetected where access is limited or obstructed. Wall condition behind coverings cannot be assessed. This inspection covers only visible areas. Fireboxes, including wood burning units, are not included in this scope; it's advised to test them for assurance before purchase.

2g) **Cracking of Building Elements:** Regardless of the type of crack(s) the inspector carrying out a visual inspection is unable to determine the expected consequences of the cracks. As a crack on the day can be 1mm wide but may have the potential to develop over time into structural problems for the home owner resulting in major expensive rectification work.

Information required to determine the consequences of a crack:

Nature of the foundation material on which the building is resting

- a) The design of the footings
- b) The site landscape and topography
- c) The history of the cracks

All these factors fall outside the scope of this inspection. However the information obtained from the items above are valuable in determining the expected consequences of the cracking and any remedial work.

Cracking Categories: Cracking is also categorized into the following 5 categories with a description of typical damage and required repairs:

0-Hairline cracking, less than 0.1mm,

1-Fine cracks that do not need repair, less than 1.0mm,

2-Noticeable cracks, yet easily filled 1mm - 5.0mm,

3-Cracks that can be repaired and possibly some of the wall sections will need to be replaced. Weather tightness can be impaired; 5.0mm -15.0mm,

4-Extensive repair works required involving breaking out and replacing these sections. Walls can become out of plumb and fall and causes reduced bearing capacity, 15.0mm - 25.0mm.

IMPORTANT: Regardless of location or size If cracks have been identified then a structural engineer is required to determine the significance of the cracking prior to a decision to purchase.

2h) For any elevated structure designed for human use, it's imperative to engage an engineer or qualified individual for inspection and to arrange annual maintenance checks. This report does not confirm suitability for specific purposes or capacities. Only a qualified engineer can assess this. The term "structure" encompasses elevated decks, verandas, balconies, handrails, stairs, and play areas. If linings or obstructions hide any structural component, a qualified professional must remove them for evaluation.

3) CONCEALED DEFECTS: This report does not cover: concealed defects, weather-dependent issues like leaks, usage-dependent defects (e.g., shower enclosures), timber pests, gas fittings, common areas, environmental factors, proximity to transportation, noise levels, health and safety, heritage, security, fire protection, site drainage, non-structural swimming pools/spas, illegal construction or plumbing, durability of finishes, neighbourhood issues, document analysis, electrical systems, statutory regulations, or any uninspected areas/items.

4) NO GUARANTEE: Accordingly this report is not a guarantee that defects and/or damage do not exist in any inaccessible or partly inaccessible areas or sections of the property. Such matters may upon request be covered under the terms of a special purpose property report.

5) SWIMMING POOLS: Swimming pools/spas are not part of the standard building report as per AS4349 and are not covered by this report. We strongly recommend a pool expert should be engaged to examine the pool and the pool equipment and plumbing as well as the requirements to meet the standard for pool fencing. Failure to conduct this inspection and put into place the necessary recommendations could result in finds for non-compliance under the legislation.

6) SURFACE WATER AND DRAINAGE: To prevent potential foundation issues, ensure proper drainage away from the house. This inspection does not assess site drainage, as its adequacy can vary with weather conditions. Recommendations are based on conditions observed during the inspection. Consider a smoke test to detect illegal connections or drainage issues.

7) SHOWER RECESSES: Shower areas are visually inspected for leaks, but leaks may only become apparent with consistent use. Ensuring watertightness is not within the scope of this inspection. Proper sealing in bathrooms is crucial to prevent water damage. Ongoing maintenance is essential to address minor imperfections that could lead to water penetration. Shower recesses may be tested for leaks if water is connected, but such tests have limitations and may not detect all issues. The absence of visible leaks during inspection does not guarantee that the shower is leak-free.

8) GLASS CAUTION: Glazing in older houses (built before 1978) may not necessarily comply with current glass safety standards AS1288. In the interests of safety, glass panes in doors and windows especially in traffic-able areas should be replaced with safety glass or have shatterproof film installed unless they already comply with the current standard.

9) STAIRS AND BALUSTRADES: Specifications have been laid down by the National Construction Code, covering stairs, landings, balustrades to ensure the safety of all occupants and visitors in a building. Many balustrades and stairs built before 1996 may not comply with the current standard. You must upgrade all such items to the current standard to improve safety.

10) RETAINING WALLS: Retaining walls exceeding 700mm in height should have been installed with engineering design and supervision. Such walls on the site were not evaluated in this standard property report. It is recommended to investigate further regarding drainage systems, load-bearing capacity, component sizing, and batter.

11) ROOMS BELOW GROUND LEVEL: If there are any rooms under the house or below ground level (whether they are habitable or non-habitable rooms), these may be subject to dampness and water penetration. Drains are not always installed correctly or could be blocked. It is common to have damp problems and water entry into these types of rooms, especially during periods of heavy rainfall and this may not be evident upon initial inspection. These rooms may not have council approval. The purchaser should make his or her own enquiries with the Council to ascertain if approval was given.

12) ASBESTOS, MOULD AND MAGNASITE DISCLAIMER: No inspection for asbestos, Mould or Magnasite was carried out at the property and no report on their presence or is provided. Consult with a suitably qualified inspector for these tests

13) ESTIMATING DISCLAIMER: No estimate is provided in this report. We strongly recommend you obtain quotes for repairs from licensed tradesman prior to a decision to purchase.

14) DISCLAIMER OF LIABILITY: No liability shall be accepted on an account of failure of the report to notify any problems in the area(s) or section(s) of the subject property that were obstructed and or concealed, physically inaccessible for inspection, or to which access for inspection is denied by or to the inspector (including but not limited to or any area(s) or section(s) so specified by the report) Compensation will only be payable for losses arising in contract or tort sustained by the client named on the front of this report. Compensation is limited to the price of the report initially paid by the claimant named in the report as the "CLIENT"

15) DISCLAIMER OF LIABILITY TO THIRD PARTIES: Compensation will only be payable for losses arising in contract or tort sustained by the Client named on the front of this report. Any third party acting or relying on this Report, in whole or in part, does so entirely at his or her own risk.

16) COMPLAINTS PROCEDURE: In case of any dispute or claim regarding the Inspection or the Report, notify us promptly via email or registered mail. We must be granted access to the property within 28 days to investigate fully, and you'll receive a written response within the same timeframe. If unsatisfied, refer the matter to a Mediator nominated by us within 21 days of our response. The cost will be shared equally, or as agreed upon. Failure to comply and initiating litigation will require you to indemnify us against any incurred expenses.

OTHER RECOMMENDED INSPECTIONS

Electrical installation: All electrical wiring, meter-box and appliances need to be checked by a qualified electrician. The inspection of any electrical item is outside the scope of this report.

Plumbing: All plumbing including septic tanks need to be inspected and reported on by a plumber.

Hot water service: Hot water services need to be checked by a plumber and/or electrician.

Gas: All gas services need to be inspected and reported on by a gas plumber.

Phone: All phones, phone lines and outlets need to be inspected and reported on by a telecommunications technician.

Smoke Alarm: AS3786 mandates smoke alarms in buildings where people sleep. Consult an electrician for advice on installation or existing alarms.

Contact the inspector: For any queries or clarification regarding this report, don't hesitate to contact the inspector directly. Understanding complex issues or faults can be challenging, we strongly recommend you contact the inspector promptly for assistance and clarification on listed issues before making any decisions based on the report.

Report Information

Client Information

Client Name	Brian & Irene Brown
Email	sales@twinspectors.com.au
Total Fee	\$675.00

Inspection Information

Report/Agreement #	2905260517051
Inspection Date:	01 Jun 2026
Inspection Time:	12:00 pm

Timber Pest Inspection Report

Provided By

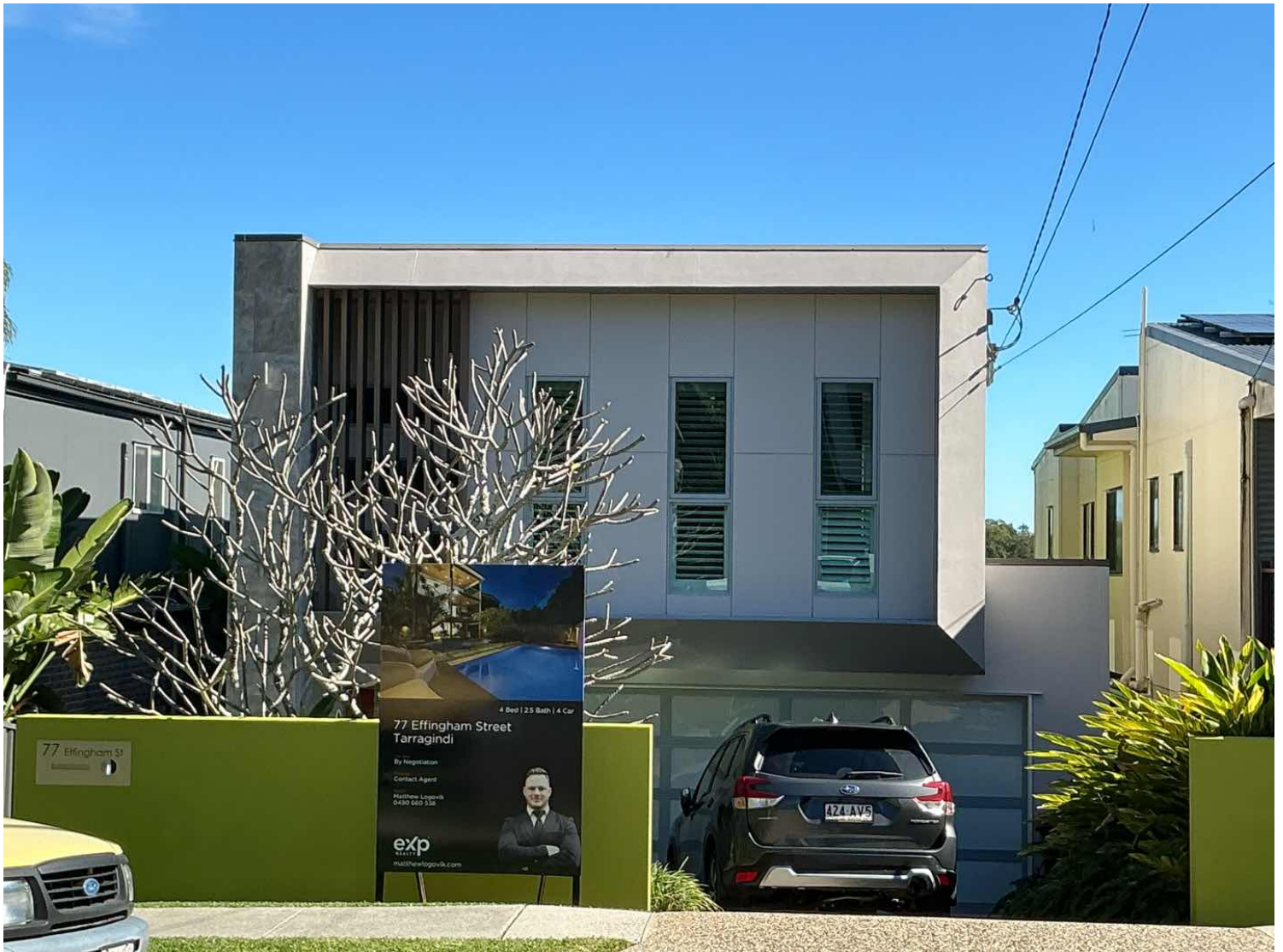


Twinspectors

159-175 Koplick Rd, PARK RIDGE, QLD, 4125
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Inspection Address

77 Effingham Street Tarragindi QLD 4121



1

Minor Defects

0

Major Defects

Table of Contents



1. ACCESS AND RESTRICTIONS



2. TIMBER PEST FINDINGS



3. CONDUCTIVE CONDITIONS



4. OVERALL ASSESSMENT



5. QUOTING

Summary Of Minor Defects

Below is a summary of defects other than Major defects.

The # denotes to the defect number in the report

Section	Location	Name	Comment
CONDUCTIVE CONDITIONS	4. Damage/ Stain	Water Damage	#1. During the inspection it was noted that water stains were visible in the following areas. Patio ceiling, refer to building report for further information.



TIMBER PEST INSPECTION

Please Note: Inspector identification, licensing details, and *direct contact phone number* relevant to this inspection are included on the *final page* of this report.

For the purpose of visual timber pest inspection this timber pest inspection report which form part of a combined timber pest and building inspection. The inspection information listed at the beginning of the building inspection report namely report information shall apply. Including the date and time of inspection, agreement number, who the report is prepared for and the description of the property inspected. THIS IS A VISUAL INSPECTION ONLY carried out in accordance with the relevant Australian Standard — either AS 4349.3-2010 (Pre-Purchase Timber Pest Inspections) or AS 3660.2:2017 (Termite Management – In and Around Existing Buildings and Structures), depending on the type of inspection requested.

Tools used during this visual inspection

Standard Tools Used

- A powerful robust torch
- PPE equipment
- Ladder extendible to 3.6 metres
- Sounding tools
- Probes or knife
- Pair of pliers
- Moisture meter
- Camera
- Measuring tape or ruler
- Hand lens

Additional equipment required if circumstances demand.

- Thermal Imaging Camera
- Termatrac

Please note that this inspection and report was a Visual only inspection to the readily accessible areas of the property as defined within the terms and conditions of this report.

It is important that you read all sections of the report as well as the additional information at the end of the report. Please note that this inspection and report was a Visual only inspection to the readily accessible areas of the property as defined within the terms and conditions of this report. As this is a visual inspection only, there may be damage to structural timbers within the building from termite infestation which is concealed by wall/s and/or ceiling linings, and that such damage has neither been inspected for nor reported herein.

If you require further investigation, an invasive inspection can be arranged upon request. This may involve the removal or disturbance of building elements to gain access to concealed areas and falls outside the scope of this standard visual inspection.

If there is something you do not understand or require further clarification, please contact the Inspector.

IMPORTANT: The Client acknowledges that, unless stated otherwise, the Client, as a matter of urgency, should implement any recommendation or advice given in this report. Please contact the inspector if there is something you do not understand or require further clarification on.



ACCESS AND RESTRICTIONS

Summary Only

Important Disclaimer

This summary and the opinion is supplied to allow a quick and superficial overview of the inspection results. This summary is not the report and cannot be relied upon on its own. This summary must be read in conjunction with the full report and not in isolation from the report. If there should happen to be any discrepancy between anything in the report and anything in this summary, the information in the report shall override that in this summary. The report is subject to the terms, conditions and limitations.

Note: It is essential that you read the entire report; other inspectors may have and are entitled to different opinions in relation to this dwelling.

Note: This report should not be relied upon if the contract for sale becomes binding more than 30 days after the date of initial inspection. A re-inspection after this time is essential.

1.1 Access to Areas

Areas where Access Should be Gained

Yes. Please read the report in its entirety.

1.2 Timber Pest Activity

Was there any Termite Workings or Damage Found

No: Of the areas able to be inspected there were no termite workings or termite damage visible. Please read this report in its entirety.

Were Any Live or Active Termites Found

No: Please read this report in its entirety.

NOTE

Note: Any evidence of termite activity or workings in the grounds or building structure assumes that risk to buildings is very high. We strongly recommend a treatment to eradicate the termites and to protect the building.

Any Visible Borer of seasoned Timbers Found

No: Please read this report in its entirety.

Any Damage caused by Wood Decay, Rot Found

No: Please read this report in its entirety.

Evidence Of Chemical Delignification

No: Please read this report in its entirety.

Are further inspections recommended

Yes: Please read this report in its entirety.

Were any major safety hazards identified

No: Please read this report in its entirety.

Susceptibility of this property to timber pests

In our opinion, the susceptibility of this property to timber pests is considered to be MODERATE. This assessment should be considered in the context of the entire report, which should be read in full for accurate understanding and recommendations.

Is an Invasive Inspection Recommended

No: Please read this report in its entirety.

1.3 Brief Description of the Structure Inspected

Building Type

Free Standing Domestic House.



Height

Double Storey.

Split Level.

Low set construction on piers.

Piers Type

Steel.



Floor

Chipboard.

Walls

Concrete block.

Rendered.

Hardiplank.

Fibro sheeting.



Roofing

Iron.

Framing

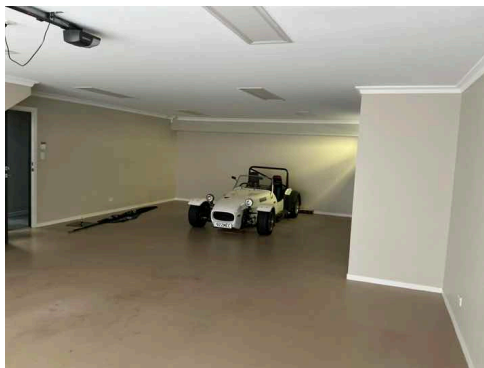
Steel frame and trusses.





Garage/Carport

The property includes a triple lock-up garage located under the main roof structure.



Fences

Colorbond.



Out Buildings
Not Applicable.

Terms & Limitations

Important Information

Any person who relies upon the contents of this report does so acknowledging that the following clauses, which define the scope and limitations of the inspection, form an integral part of the report.

1. THIS IS A VISUAL INSPECTION ONLY carried out in accordance with the relevant Australian Standard – either AS 4349.3-2010 (Pre-Purchase Timber Pest Inspections) or AS 3660.2:2017 (Termite Management – In and Around Existing Buildings and Structures), depending on the type of inspection requested. This visual inspection was limited to those areas and sections of the property to which reasonable access (see definition) was both available and permitted on the date of inspection. The inspection did not include breaking apart, dismantling, removing or moving objects including, but not limited to, foliage, mouldings, roof insulation/sisalation, floor or wall coverings, sidings, ceilings, floors, furnishings, appliances or personal possessions. The inspector cannot see inside walls, between floors, inside skillion roofing, inside the eaves, behind stored goods in cupboards, in other areas that are concealed or obstructed. The inspector did not dig, gouge, force or perform any other invasive procedures. An invasive inspection will not be performed unless a separate contract is entered into. In an occupied property it must be understood that furnishings or household items may be concealing evidence of timber pests, which may only be revealed when the items are moved or removed. In the case of strata type properties only the interior of the unit is inspected.

2. Scope of report: This report is confined to reporting on the discovery, or non-discovery, of infestation and/or damage caused by subterranean and dampwood termites (white ants), borers of seasoned timber and wood decay fungi (hereinafter referred to as "timber pests"), present on the date of the inspection. The inspection did not cover any other pests and this report does not comment on them. Dry wood termites (family: Kalotermitidae) and European house borer (hylotrupes bujulus Linnaeus) were excluded from the inspection, but have been reported on if, in the course of the inspection, any visual evidence of infestation happened to be found. If cryptotermes brevis (West Indian dry wood termite) or hylotrupes bujulus Linnaeus are discovered we are required by law to notify government authorities. If reported a special purpose report may be necessary.

3. Hidden damage: If timber pest activity and/or damage is found, within the structures or the grounds of the property, then damage may exist in concealed areas, eg framing timbers. An invasive inspection is strongly recommended in this case. Damage may only be found when wall linings, cladding or insulation are removed to reveal previously concealed timbers.

4. Accessibility: A further inspection is strongly recommended of those areas that were not readily accessible and of inaccessible or obstructed areas once access has been provided or the obstruction removed. At the request of the named client on this report and with the written consent of the vendor, we will revisit the site and re-Inspect the obstructed Areas.

5. Limitations: Nothing contained in the report implies that any inaccessible or partly inaccessible areas or sections of the property being inspected by the inspector on the date of the inspection were not, or have not been, infested by timber pests. Accordingly this report is not a guarantee that an infestation and/or damage does not exist in any inaccessible or partly inaccessible areas or sections of the property. Nor is it a guarantee that a future infestation of timber pests will not occur or be found.

6. Determining extent of damage: The report is not a structural damage report. Any observations or recommendations about timber damage should not be taken as expert opinion and cannot be relied upon. The report will not state the full extent of any timber pest damage. The report will state timber damage found as 'slight', 'moderate', 'moderate to 'extensive' or 'extensive'. This information is not the opinion of an expert. If any evidence of timber pest activity and/or damage resulting from timber pest activity is reported either in the structure(s) or the grounds of the property, then you must assume that there may be concealed structural damage within the building(s). This concealed damage may only be found when wall linings, cladding or insulation is removed to reveal previously concealed timbers. An invasive timber pest inspection (for which a separate contract is required) is strongly recommended and you should arrange for a separate inspection by a qualified builder, engineer, or architect to carry out a structural inspection and to determine the full extent of the damage and the extent of repairs that may be required. You agree that neither we nor the individual conducting the inspection is responsible or liable for the repair of any damage whether disclosed by the report or not.

7. Mould: Mildew and non-wood decay fungi is commonly known as mould and is not considered a timber pest. However, mould and their spores may cause health problems or allergic reactions such as asthma and dermatitis in some people. No inspection for mould was carried out at the property and no report on the presence or absence of mould is provided. Should any evidence of mould happen to be noticed during the inspection, it will be noted in the other information (5.11) Section of this report. If mould is noted as present within the property and you are concerned as to the possible health risk resulting from its presence then you should seek advice from your local council, state or commonwealth government health department or a qualified expert such as an industry hygienist.

8. Disclaimer of liability: No liability shall be accepted on account of failure of the report to notify any termite activity and/or damage present at or prior to the date of the report in any areas(s) or section(s) of the subject property physically inaccessible for inspection, or to which access for inspection is denied by or to the licensed inspector (including but not limited to any area(s) or section(s) so specified by the report).

9. Disclaimer of liability to third parties: Compensation will only be payable for losses arising in contract or tort sustained by the client named on the front of this report. Any third party acting or relying on this report, in whole or in part, does so entirely at his or her own risk.

10. Complaints procedure: In the event of any dispute or claim arising out of, or relating to the inspection or the report, you must notify us as soon as possible of the dispute or claim by email, fax or mail. You must allow us (which includes persons nominated by us) to visit the property (which visit must occur within twenty eight (28) days of your notification to us) and give us full access in order that we may fully investigate the complaint. You will be provided with a written response to your dispute or claim within twenty eight (28) days of the date of the inspection.

If you are not satisfied with our response you must within twenty one (21) days of your receipt of our written response refer the matter to a mediator nominated by us from the institute of arbitrators and mediators of Australia. The cost of the mediator will be borne equally by both parties or as agreed as part of the mediated settlement.

Should the dispute or claim not be resolved by mediation then the dispute or claim will proceed to arbitration. The institute of arbitrators and mediators of Australia will appoint an arbitrator who will hear and resolve the dispute. The arbitration, subject to any directions of the arbitrator, will proceed in the following manner:

A) the parties must submit all written submissions and evidence to the arbitrator within twenty one (21) days of the appointment of the arbitrator; and

B) the arbitration will be held within twenty one (21) days of the arbitrator receiving the written submissions.

The arbitrator will make a decision determining the dispute or claim within twenty one (21) of the final day of the arbitration. The arbitrator may, as part of his determination, determine what costs, if any, each of the parties are to pay and the time by which the parties must be paid any settlement or costs. The decision of the arbitrator is final and binding on both parties. Should the arbitrator order either party to pay any settlement amount or costs to the other party but not specify a time for payment then such payment shall be made within twenty one (21) days of the order.

In the event you do not comply with the above complaints procedure and commence litigation against us then you agree to fully indemnify us against any awards, costs, legal fees and expenses incurred by us in having your litigation set aside or adjourned to permit the foregoing complaints procedure to complete.

11. Complaint investigation: In the event any litigation is started as a result of the inspection and/or report, you indemnify us against any legal fees and expenses incurred where you have not first allowed us the opportunity to visit the property to investigate the complaint and provide you with a written response within 28 days.

2. Visual Timber Pest Inspection Report

Important Information

For complete and accurate findings, please refer to the attached full visual timber pest inspection report, prepared in accordance with the relevant Australian Standard (AS 4349.3-2010 or AS 3660.2:2017, as applicable).

2.1 Brief Description of Areas Inspected

NOTE

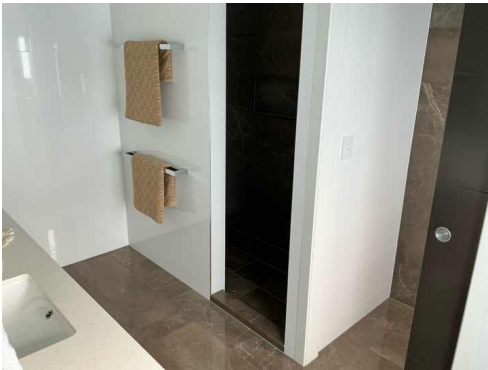
Only structures, fences & or trees within 30m of the building but within the property boundaries were inspected.

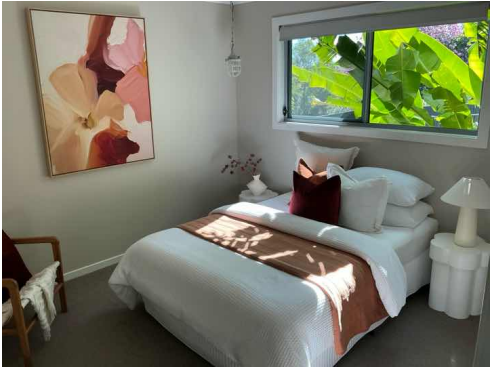
Internal Areas

All internal areas inspected.

Living/Dinning rooms, Kitchens, Laundry, Bathrooms, Bedrooms, Garage









External Areas

All external areas of the structure located within the property boundaries, extending up to 50 linear metres from the main dwelling.

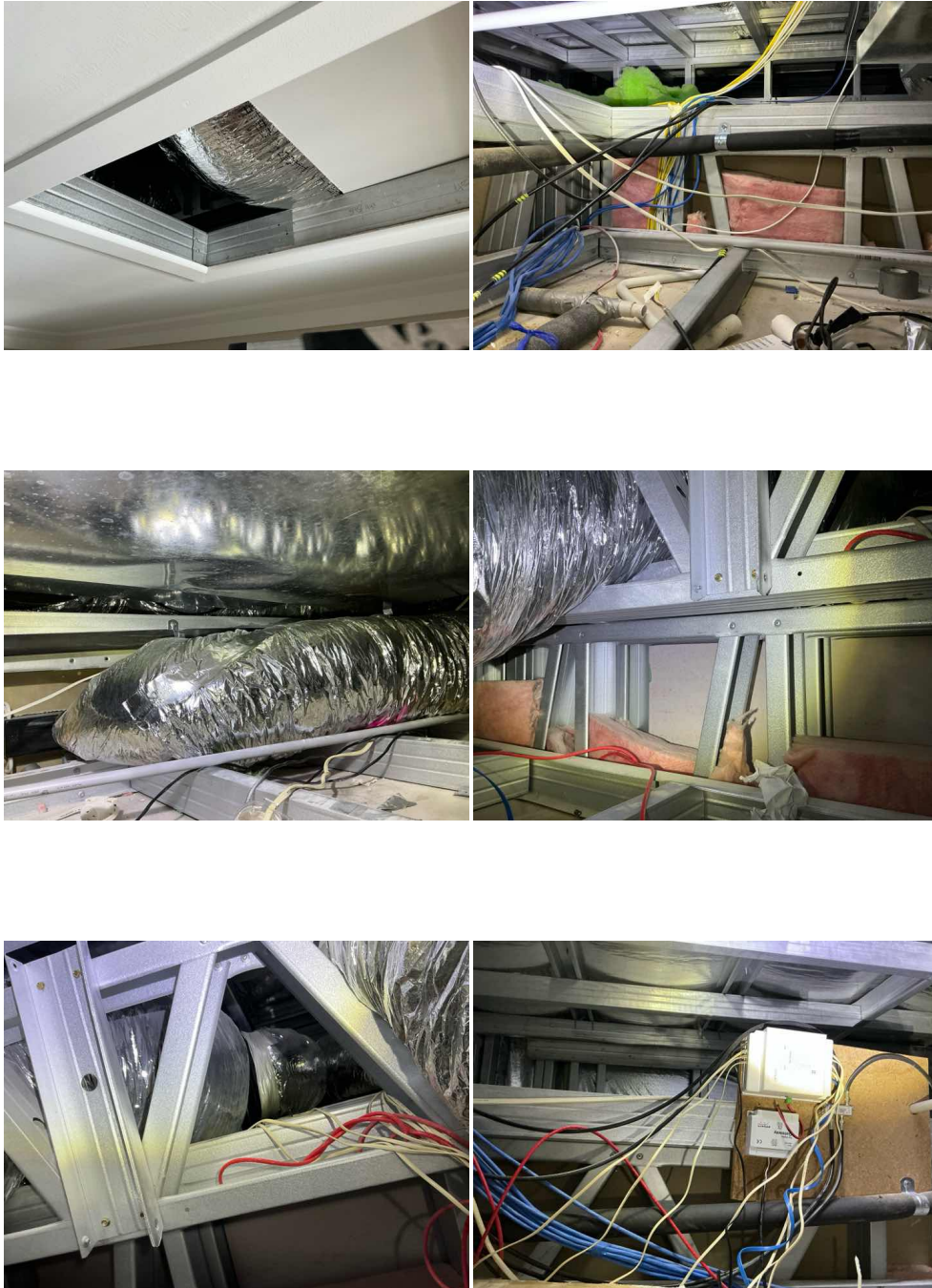
This includes, but is not limited to, decks, patios, balconies, outbuildings, retaining walls, and fence lines.





Roof Void

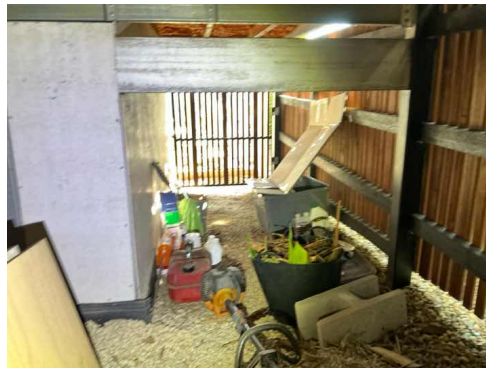
All areas accessible of the roof void will be inspected.



Subfloor

All internal areas of the Subfloor that's accessible.

Areas including structural piers and foundation walls.



2.2 Areas Not Inspected

Please Note

No inspection was carried out, and no report is provided, for areas that were inaccessible, not readily accessible, or obstructed at the time of inspection. These include—but are not limited to—cavity walls, concealed framing timbers, eaves, flat roofs, fully enclosed patios, subfloors, soil concealed by concrete slabs, fireplace hearths, wall linings, landscaping, rubbish, floor coverings, furniture, pictures, appliances, stored items, insulation, hollow blocks or posts, and any locked or restricted areas.

Removing furnishings, floor coverings, or other obstructions to access these areas is outside the scope of this inspection. It is strongly recommended that all obstructions be cleared and full access provided, as defects or timber pest activity may exist in these uninspected areas.

2.3 Areas Where Reasonable Access Was Not Available and Reasons for Inaccessibility

Reasonable access not available

Interior

Subfloor

Exterior

Roof

2.4 Reasonable Access Areas Not Available

Interior

Inspection of the interior was restricted by furniture, fixtures, and floor coverings. A further inspection is recommended once the property is vacant and full access is available.

Exterior

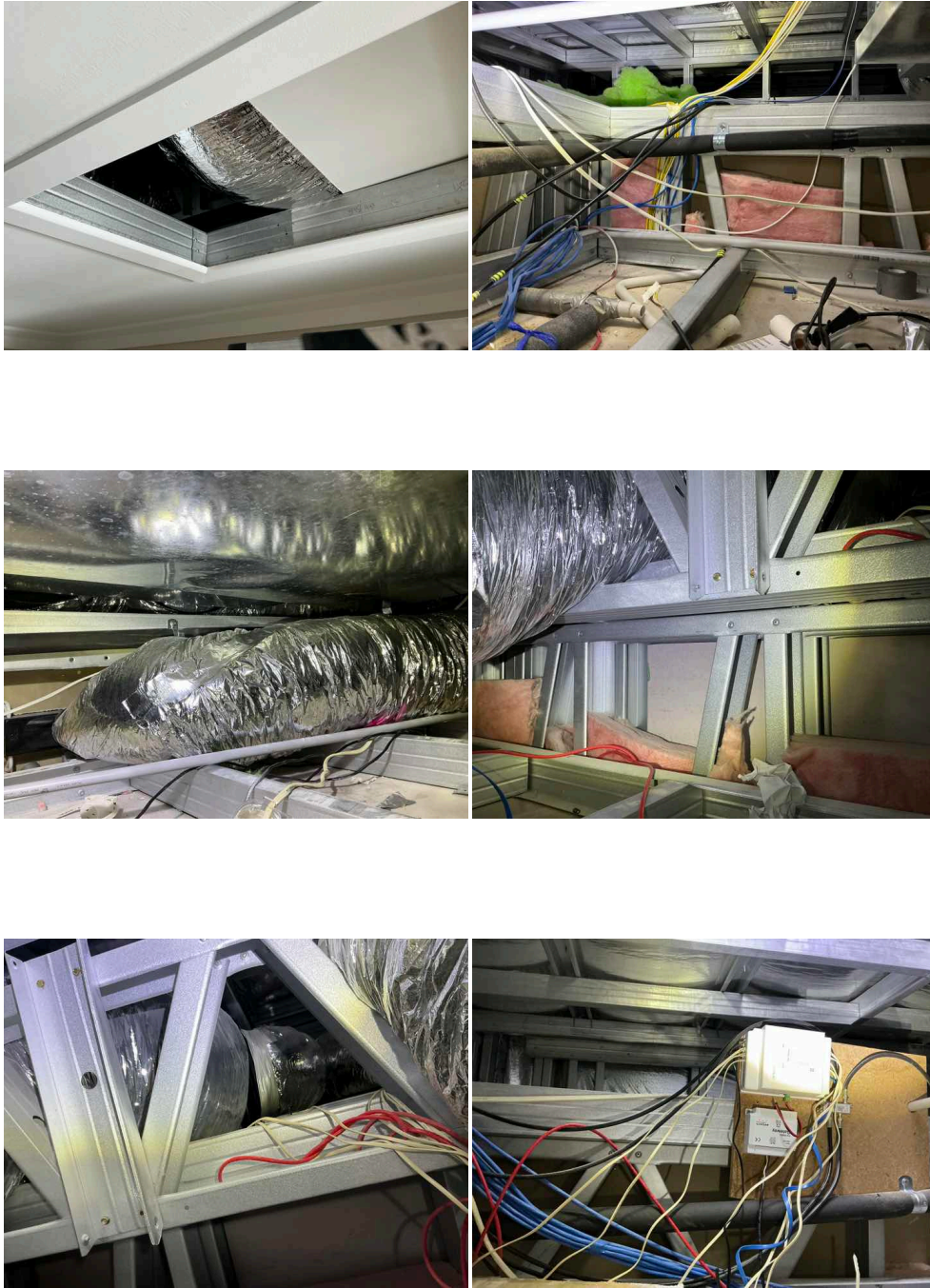
No inspection of zero boundary area was possible.

Unable to access void underneath decking.



Roof Void Because

No inspection of low inaccessible area of roof was possible. Receding trusses makes access difficult or impossible.



Slab on ground

No – due to partial slab-on-ground construction, reasonable access was not available during the inspection.

2.6 House Furnishings

Please Note

Where a property is furnished at the time of inspection, it must be understood that furniture and stored goods may conceal evidence of timber pest activity or damage. Such evidence may only become apparent once the property is vacated. In these instances, a follow-up inspection of the vacant premises is strongly recommended.

No inspection was conducted—and therefore no findings can be reported—for areas that were inaccessible or partially inaccessible at the time of the inspection. If access to any part of the dwelling was restricted, timber pest activity or damage may exist in those areas. Nothing in this report should be interpreted to imply that inaccessible or partially inaccessible areas were free from timber pest infestation at the time of inspection.

This includes, but is not limited to: concealed frame timbers, wall and ceiling linings, eaves, areas beneath concrete floors, soil-covered or landscaped areas, rubbish piles, floor coverings (such as carpet and vinyl), furniture, wall-mounted items (e.g. pictures or mirrors), built-in or freestanding appliances (such as dishwashers, refrigerators, ovens, microwaves, washing machines, heating/cooling units), stored goods (e.g. clothing, boxes, beds placed against walls), insulation, and hollow construction elements (such as columns, poles, or decorative features).

Furnishings present during the inspection were not moved or inspected and are excluded from the scope of this report.

Was the dwelling Furnished

Display furniture was present at the time of the inspection.



TIMBER PEST FINDINGS

3. Subterranean Termites

Were Active or Live Termites Visible

No. Of the visible and accessible areas inspected, there were no visible termites found at the time of the inspection.

3.1 Termite Nests

Was a Termite Nest Found

No termite nests found at time of inspection.

3.2 Subterranean Termite Damage or Workings

Any workings or damage found

No evidence of termite workings or timber damage was observed at the time of inspection, within the visible and accessible areas assessed.

Disclaimer

Where evidence of termite activity or workings has been identified within the grounds or structure, the risk of ongoing or further termite attack is considered very high. In such cases, a targeted treatment should be carried out to eliminate any active termites, followed by the installation of a compliant termite management system in accordance with Australian Standard AS 3660 to protect the structure from future infestation.

If damage is visible does it present a safety risk

Important Note: Where a Major Safety Hazard is identified above, it must be attended to and/or rectified to avoid the possibility of personal injury &/or death.

VERY Important:

If live termites or any evidence of termite workings or damage was reported above within the building(s) or in the ground and fences then it must be assumed that there may be concealed termite activity and/or timber damage. This concealed activity or damage may only be found when alterations are carried out such as when wall linings, cladding or insulation are removed or if you arrange for an invasive inspection. We claim no expertise in structural engineering or building. We strongly recommend that you have a qualified person such as a Builder, Engineer, Architect or other qualified expert in the building trade determine the full extent of the damage, if any. This may require an invasive inspection. We take no responsibility for the repair of any damage whether disclosed by this report or not. (See Terms & Limitations).

Where visual evidence of termite workings and/or damage is reported above, but no live termites were present at the time of inspection, you must realize that it is possible that termites are still active in the immediate vicinity and the termites may continue to cause further damage. It is not possible, without benefit of further investigation and a number of inspections over a period of time, to ascertain whether any infestation is active or inactive. Active termites may simply have not been present at the time of inspection due to a prior disturbance, climatic conditions, or they may have been utilizing an alternative feeding source. Continued, regular, inspections are essential. Unless written evidence of a termite protection program in accord with "Australian Standard 3660" with ongoing inspections is provided, you must arrange for a treatment in accord with "Australian Standard 3660" to be carried out immediately to reduce the risk of further attack.

General remarks: A more thorough INVASIVE INSPECTION is available (refer to section 9). Where any current visible evidence of Timber Pest activity is found it is strongly recommended that a more invasive inspection is performed. Trees and stumps on the property with a diameter more than 100mm have been visually inspected for evidence of termite activity to a height of 2m where access was possible and practical. It is very difficult, and generally impossible to locate termite nests since they are underground and evidence in trees is usually well concealed. We therefore strongly recommend that you arrange to have trees test drilled for evidence of termite nests.

3.3 Any Evidence of a Previous Termite Treatment?

Any Evidence of previous Treatments Found

No, there was no visible evidence or a previous termite treatment was located at the property.

Warning

Important Notice Regarding Evidence of Previous Termite Treatment

If drill holes in concrete, brickwork, or other signs suggesting a previous termite treatment are observed, it indicates that a treatment may have been carried out either as a preventative measure or in response to active termite activity.

Please be aware that timber damage may exist in concealed areas. If any termite damage is identified, an invasive inspection is strongly recommended. A licensed builder should also be engaged to assess the full extent of the damage and provide an estimate for any necessary repairs, as such damage is often only visible once wall linings or other structures are removed.

Typically, when a termite treatment has been completed, a durable notice is placed in the meter box. This notice should specify the type of termite management system installed; such as a physical barrier, treated zone, or a combination of systems.

3.4 Durable Notice

Was a Treatment Notice Found

Check with current owner for information regarding last treatment.

Please Note

This firm can give no assurances with regard to work that may have been previously performed by other firms. You should obtain copies of all paperwork and make your own inquiries as to the quality of the treatment, when it was carried out and warranty information. In most cases you should arrange for a treatment in accord with "australian standard 3660" be carried out to reduce the risk of further attack.

3.5 Timber Fungal Decay - Rot

Evidence of Wood Decay Fungi -Rot

No

Does the damage present a Major Safety Hazard

Important Note: Where a Major Safety Hazard is identified above, it must be attended to and/or rectified to avoid the possibility of personal injury &/or death.

We claim no expertise in building and if any evidence of fungal decay or damage is reported you should consult a building expert to determine the full extent of damage and the estimated cost of repairs or timber replacement.

3.6 Chemical Delignification

Was there any visible evidence of chemical delignification?

No evidence of chemical delignification was seen at the time of inspection.

3.7 Borer Findings

Borer Information

Borer information: *Lyctus brunneus* (powder post beetle) is not considered a significant pest of timber. Damage is confined to the sapwood so treatment or timber replacement is not usually required. However, you should have a building expert investigate if any timber replacement is required.

Anobium punctatum (furniture beetle) and *calymmaderus incisus* (queensland pine beetle) must always be considered active, unless proof of treatment is provided, because, unless the timber is ground up, one cannot determine conclusively if activity has ceased. Total timber replacement of all susceptible timbers is recommended. A secondary choice is treatment. However, the evidence and damage will remain and the treatment may need to be carried out each year for up to three years.

No

At the time of inspection, **NO** borer damage or activity was present in the dwelling.



CONDUCTIVE CONDITIONS

4. Conductive Conditions to Timber Pests

Water leaks

At the time of inspection no visible leaks were located.

Please Note

Water leaks, particularly into the subfloor area or against external walls (e.g. leaking taps, water tanks, downpipes, or gutters), *increase the risk* of termite attack. Leaks from showers or other wet areas also raise the likelihood of concealed termite activity. These conditions may also promote borer activity and wood decay. If any leaks have been identified, a licensed plumber or qualified building professional should be engaged to assess the full extent of the damage and provide an estimate for repairs.

4. Damage/Stain

Water Damage

#1. During the inspection it was noted that water stains were visible in the following areas.

Patio ceiling, refer to building report for further information.



4.1 Service Unit Overflow Points

Was the Overflow Sufficiently Drained?

Not applicable to this type of hot water system.



Was the Air Conditioner Sufficiently Drained?

Not Applicable to this unit.

The system in place is a ducted sytem, with drainage plumbed in.



Was the Water Tank Overflow Connected to Storm?

Not applicable.

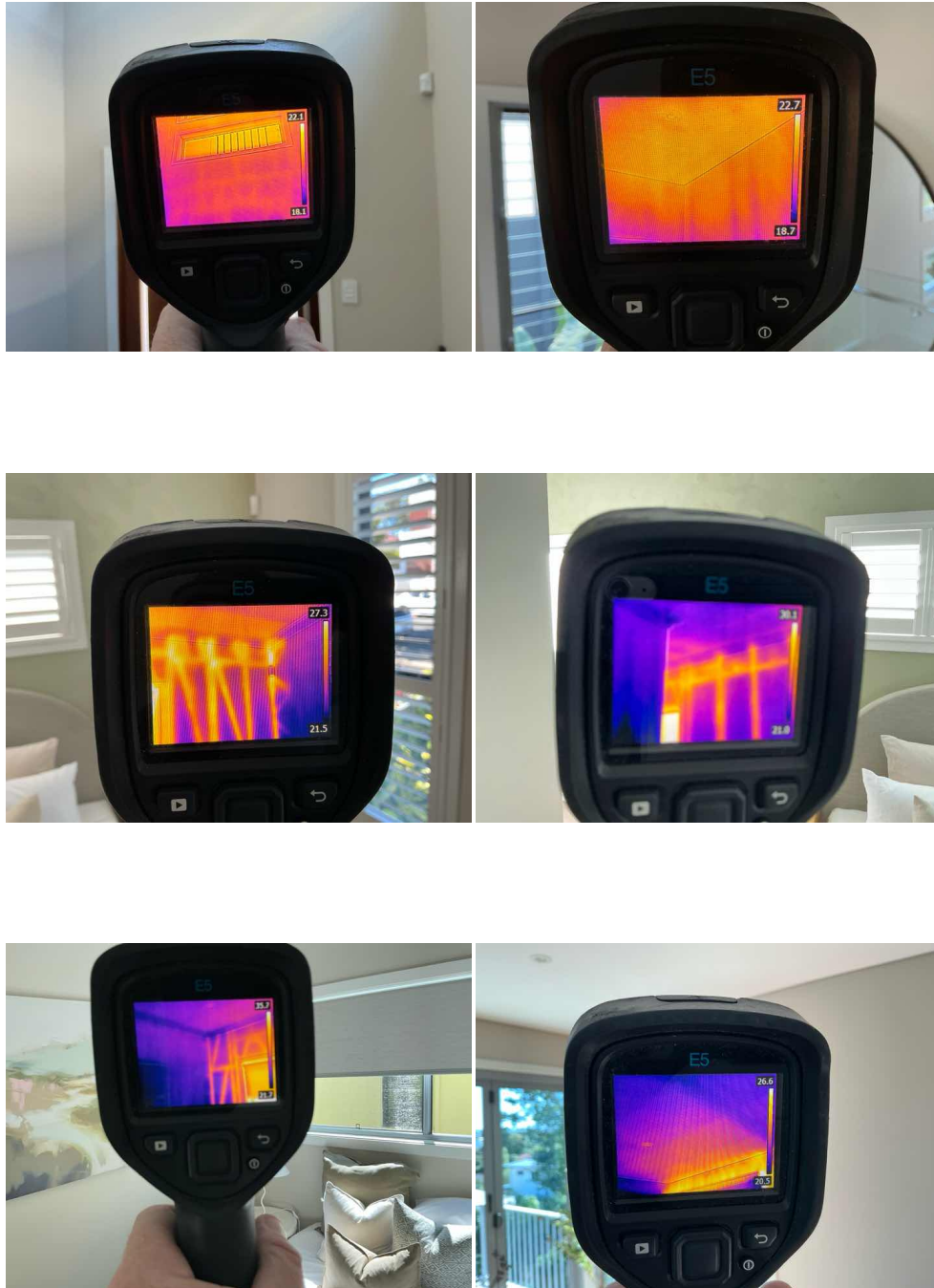
Disclaimer

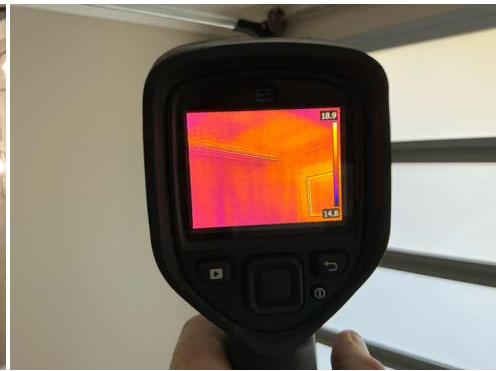
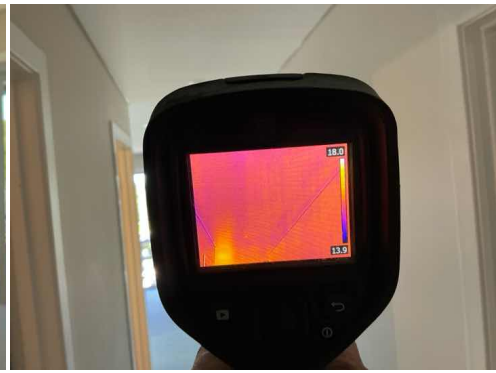
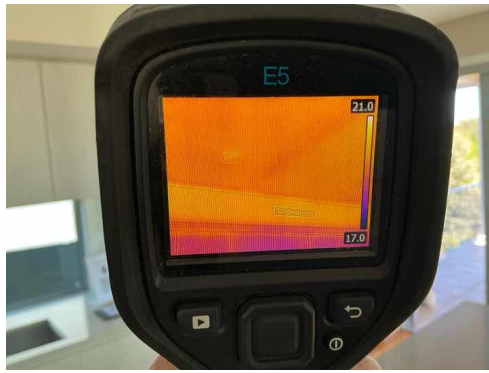
Hot water systems and air conditioning units that release water near the building should be *connected to appropriate drainage*. If a direct connection is not possible, the outlet should be extended to discharge several metres away from the structure, as wet areas close to the building are highly conducive to termite activity. Water tanks must not leak, and their overflow should be properly connected to stormwater drainage. If the water tank overflow is **not** connected, a licensed plumber should be engaged to carry out the necessary work.

4.2 Thermal Imaging Results (Non Standard Tools Use).

Observation

No thermal anomalies were detected.



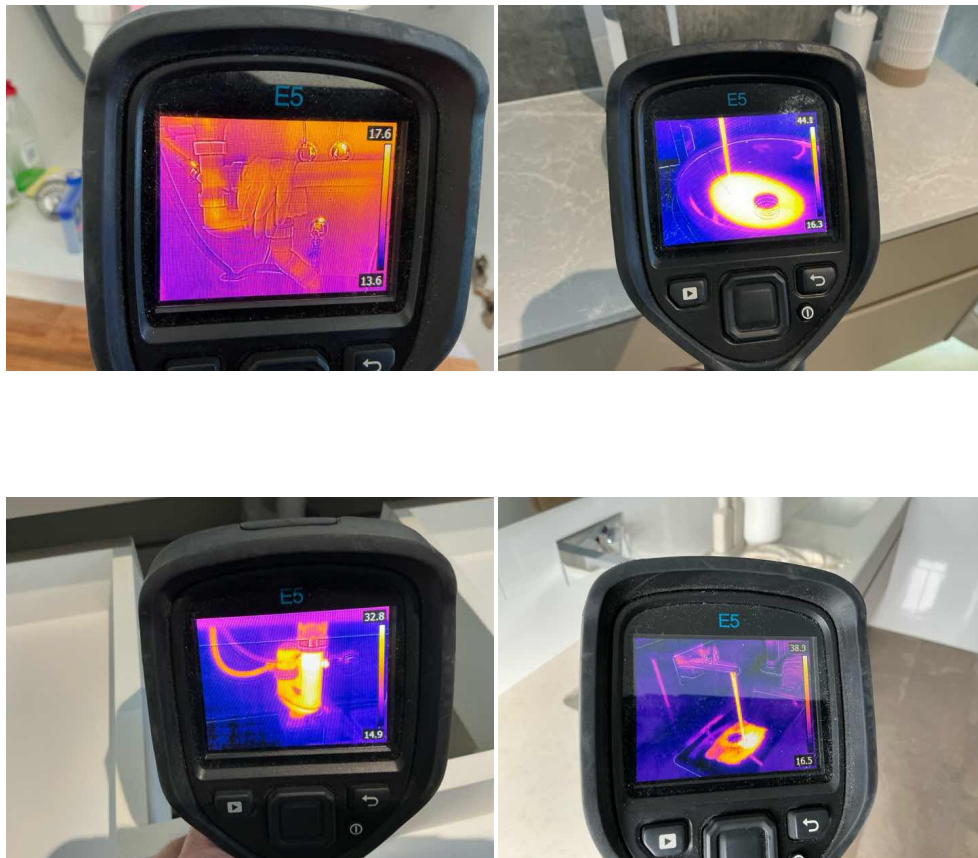


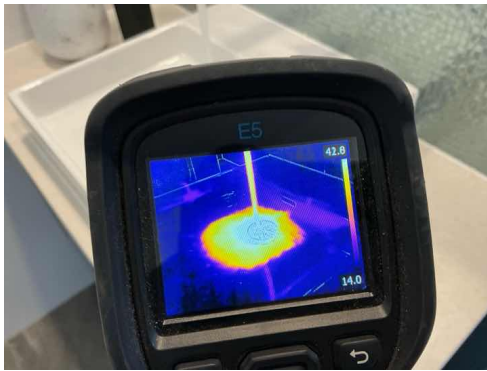
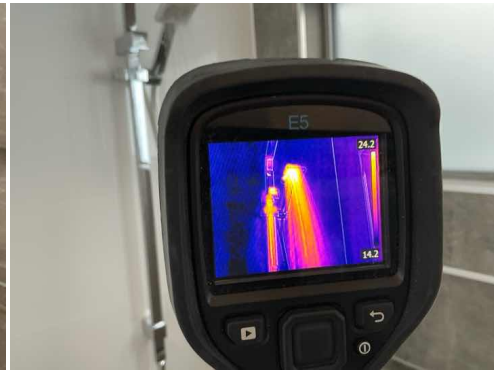


Observation(1)

No thermal anomalies were detected.

An infrared thermal imager was used as part of this inspection. The effectiveness of thermal imaging may be limited by factors such as visual obstructions, ambient temperature, wall construction, surface material, and insulation. Where surfaces are obstructed or otherwise inaccessible, accurate thermal readings cannot be obtained and are excluded from the scope of this inspection. Any observations made are based solely on conditions visible at the time of inspection and do not guarantee the absence of issues in areas that could not be assessed.







4.2 Moisture Readings

Was There Any Excessive Moisture Readings?

At the time of inspection, moisture levels were elevated but still in the normal range.

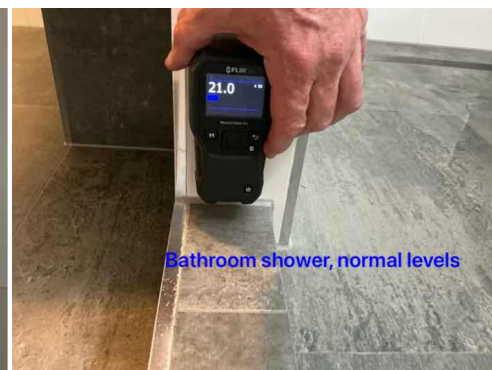
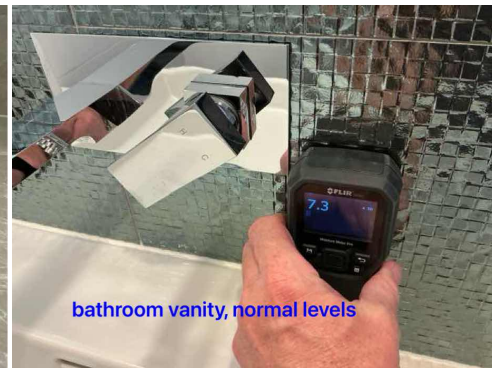
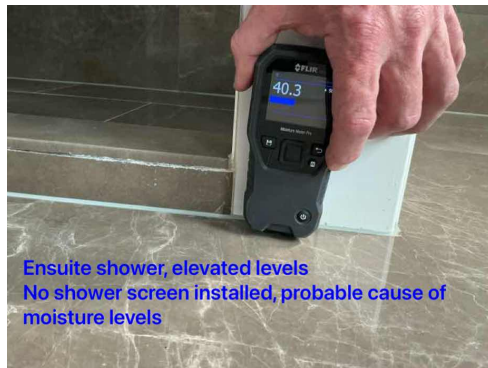
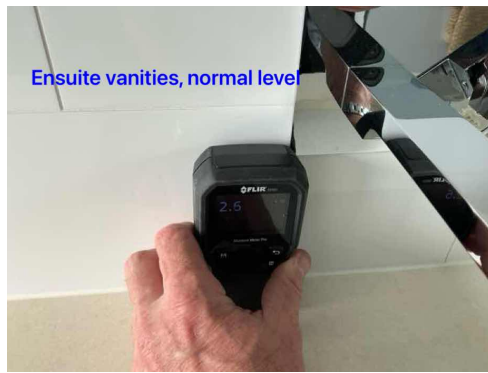
Normal range, **0-30%.**
Elevated range, **30-50%.**
High levels, **50% and above.**

Please note: elevated or high moisture levels can still be evident even after rectification works have been carried out.

*bathrooms in particular can take several weeks/months to completely dry out,

This is mainly due to lack of ventilation and high humidity levels associated with a bathroom.







Moisture Detection Equipment Used

Flir MR60 Moisture Meter.

Moisture meter is used to detect moisture in cabinetry and behind walls.

Flir Thermal camera E5/E6.

Thermal imaging camera is used to locate variations in temperature, this may be pest or moisture related.

Disclaimer: If elevated moisture levels are reported, a suitably qualified building professional must be engaged to investigate the source of the moisture, assess the extent of any resulting damage, and provide an estimate for necessary repairs.



4.3 Sub Floor Ventilation

Sub Floor Ventilation Assessment

Adequate.

Disclaimer: Adequate ventilation, particularly in the subfloor area, is essential in reducing the risk of timber pest activity within a property. Where ventilation is deemed insufficient, a licensed builder or other suitably qualified professional should be consulted to assess and recommend appropriate corrective measures.

4.4 Slab Edge Exposure

Is the Slab Edge Adequately Exposed?

Yes, in some areas.

4.5 Weep Holes & Sub Floor Vents

Were the Weep Holes Clear of Debris?

Not applicable.

Were The Vents Clear?

Not applicable.

Disclaimer

It is *essential* that weep holes are not obstructed by soil, lawn, concrete, pavers, or render. In some cases, weep holes may have been inadvertently covered during rendering or landscaping works. Weep holes must remain clean, unobstructed, and free-flowing to allow for adequate ventilation and drainage. Partial or full obstruction of weep holes can facilitate concealed termite entry and significantly increase the risk of infestation.

5. Ant Capping & Termite Shields

Termite Shields

Not applicable.

Disclaimer

Termite shields (ant caps) should be maintained in good condition to ensure that any termite activity remains visible. Properly installed shielding exposes termite workings and helps prevent concealed entry. All joins in the shielding should have been soldered during installation; where unsoldered joins are observed, the shielding must be considered inadequate. A licensed builder may be able to repair or replace the shielding. If rectification is not possible, a chemical treated zone may be required to reduce the risk of concealed termite entry. Missing, damaged, or poorly installed shields significantly increase the risk of infestation. If shielding is deemed inadequate, consultation with a builder or other qualified expert is recommended. Other physical barrier systems not visible to inspection are beyond the scope of this report and no comment is made on their condition.

6. Areas Found Conducive To Termite Infestation

Conducive Areas Requiring Amendments

No access under decking. The degree of risk is high. A full inspection must be carried out of the decking framing for any potential termite damage and/or infestation.

7. Environmental Conditions

Are Trees Close to Home

No



OVERALL ASSESSMENT

9. Overall Assessment of Property

Degree of Risk of Termite Infestation is

The overall degree of risk of timber pest infestation to this property appears to be **MODERATE** - See notes below. The overall degree of risk of timber pest infestation is a subjective assessment by the inspector at the time of the inspection taking into account many factors which include but are in no way limited to location and proximity to bush land and trees, the presence of evidence of timber pest damage or activity close to the inspected structure or within the inspected structure, conducive conditions that raise the potential of timber pest attack such as timbers in contact with soil, inaccessible areas, slab on ground construction etc, or other factors that in the inspectors opinion, raise the risk of future timber pest attack. It should be noted that even if a risk factor is high, this is not meant to deter a purchaser from purchasing the property, it is just to make them aware that increased vigilance is warranted and any recommendations regarding reducing conducive conditions or frequency of inspections should be headed by any property owner. Often, by reducing or eliminating some of the conducive conditions, the risk factor may be lowered.

Please Note

Where or if there has been evidence of live termites or termite damage or termite workings (mudding) found in the building(s) then the risk of a further attack is extremely high. Where evidence of live termites or termite damage or termite workings was found in the grounds but not in the buildings then the risk to buildings must be reported as high to extremely high.

10. Subterranean Termite Treatment Recommendation

Treatment Recommendation

A management program in accord with AS 3660-2000 to protect against subterranean termites is considered to be: **RECOMMENDED**.

11. Future Inspections

Future Inspections

Future inspections: As 3660.2-2000 Recommends that inspections be carried out at intervals no greater than annually and where timber pest "pressure" is greater, this interval should be shortened. Inspections will not stop timber pest infestations; however, the damage which may be caused will be reduced when the infestation is found at an early stage.

Due to the degree of risk of subterranean termite infestation noted above and all other findings of this report, we strongly recommend that a full inspection and written report in accord with as 4349.3 Or as 3660.2-2000

Recommended Inspection Intervals

12 Months.

12. General Remarks

Terms And Conditions

IMPORTANT INFORMATION

In relying upon this report you should read and understand the following important information. It will help explain what is involved in a timber pest inspection, the difficulties faced by a timber pest inspector and why it is not possible to guarantee that a property is free of timber pests. It also details important information about what you can do to help protect your property from timber pest attack. This information forms an integral part of the report.

1.0 DEFINITIONS: For the purpose of this inspection, the definitions below apply.

1.1 Active - The presence of live timber pests at the time of inspection.

1.2 Inactive - The absence of live timber pests at the time of inspection.

Note: Where visual evidence of inactive termite workings and/or damage is located, it is possible that termites are still active in the immediate vicinity and the termites may continue to cause further damage. It is not possible, without the benefit of further investigation and inspections over a period of time, to ascertain whether any infestation is active or inactive. Continued, regular inspections are essential.

1.3 Minor - Damage that is superficial and does not appear to require any timber replacement or repairs to be carried out.

1.4 Moderate - Damage that is more than surface damage and it is likely to necessitate timber repairs with possible replacement (if more economical or for aesthetic reasons) to be carried out.

1.5 Severe - Damage that appears to be significant and the integrity or serviceability of timbers may be impaired. Usually timbers will have to be repaired and/or replaced.

1.6 Timber Damage - It is essential that any timber damage noted in the report be referred to a suitably qualified building professional and obtain a special purpose building report relating to the extent of the timber damage. The full extent of damage may only be revealed by invasive inspection methods including probing and the removal of lining materials. This type of invasive inspection has not been carried out and you should understand that the extent and/or severity of timber damage may be found to increase significantly on such an invasive inspection. The references contained within this report that may refer to the extent of timber damage have only been included to assist in determining treatment specifications and not to quantify the damage and must not be relied upon to determine the costs of repair or replacement.

2.0 REASONABLE ACCESS: Only areas where reasonable access was available were inspected. The Australian Standard AS3660 refers to AS4349.3-2010 which defines reasonable access. Access will not be available where there are safety concerns, or obstructions, or the space available is less than the following:

ROOF SPACE - the dimensions of the access hole must be at least 500mm x 400mm, and, reachable by a 3.6M ladder, and, there is at least 600mm x 600mm of space to crawl.

SUBFLOOR - the dimensions of the access hole must be at least 500mm x 400mm and, there is at least 400mm of space to crawl beneath the lowest part of any bearer and at least 500mm below any concrete member.

ROOF EXTERIOR - must be accessible by a 3.6M ladder placed safely on the ground.

Reasonable access does not include the use of destructive or invasive inspection methods. Nor does reasonable access include cutting or making access traps, or moving heavy furniture or stored goods.

3.0 A MORE INVASIVE AND PHYSICAL INSPECTION IS AVAILABLE AND RECOMMENDED: This inspection was a visual inspection only. As detailed above, there are many limitations to this visual inspection. With the written permission of the owner of the premises we will perform a more invasive physical inspection that involves moving or lifting of insulation, moving stored items, furniture or foliage during the inspection. We will physically touch, tap, test and where necessary force/gouge suspected accessible timbers. We will gain access to areas, where physically possible and considered practical and necessary, by way of cutting traps and access holes. This style of report is available by ordering with several days notice. Inspection time for this report will be greater than for a visual inspection. It involves disruption in the case of an occupied property, and some permanent marking is likely. You must arrange for the written permission of the owner and must acknowledge all the above information and confirm that our firm will not be held liable for any damage caused to the property. Price available on request.

4.0 CONCRETE SLAB HOMES (Part or full slab) Homes constructed on concrete slabs pose special problems with respect to detecting termite attack. If the edge of the slab is concealed by garden beds, lawns, paths, pavers or any other obstructions then it is possible for termites to effect concealed entry into the property. They can then cause extensive damage to concealed framing timbers before being detected. Even the most experienced inspector may be unable to detect their presence due to concealment by wall linings or other obstructions. Only when the termites attack timbers in the roof void, which may be concealed by insulation, or some other visible timbers, can their presence be detected. Where termite damage is located in the roof it should be expected that concealed framing timbers (if present) may be extensively damaged. With a concrete slab home (part or full) it is imperative that you expose the edge of the slab. This may involve the excavation of soil or the complete removal of garden beds, paths, pavers or other features which concealed the slab edge. It is recommended that at least 75 millimetres of the slab edge above ground level remain exposed at all times to facilitate the detection of termite entry. Weep holes must also be kept free of obstructions at all times.

5.0 EVIDENCE OF TERMITE DAMAGE: Where evidence of termite damage was noted in any structure or on the grounds of the property, you must understand that termite damage or activity may exist in concealed areas. Termites are secretive by nature and they will often temporarily desert their workings to later return. As damage or activity may exist in concealed or inaccessible areas, a further INVASIVE INSPECTION is strongly recommended, see Section 3.0 - Further Invasive Inspections. Additionally, regular inspections are strongly recommended at intervals not exceeding 12 monthly and more frequently if recommended.

6.0 SUBTERRANEAN TERMITES: No Property is safe from termites! Termites are the cause of the greatest economic losses of timber in service in Australia. Independent data compiled by State Forests shows 1 in every 4 homes are attacked by termites at some stage in their life. Australia's subterranean termite species are the most destructive timber pests in the world.

How termites attack your home! The most destructive species live in large underground nests containing several hundred thousand timber-destroying insects. The problem arises when a nest matures near your home. Your home provides natural shelter and a food source for the termites. The gallery system of a single termite colony may exploit food sources over as much as one hectare, with individual galleries extending up to 50 metres or more to enter your home. Concrete slabs do not act as a barrier as termites can penetrate cracks through the slab or over the slab edge and once in contact with the timber they can excavate it often leaving only a thin veneer on the outside. If left undiscovered the economic species can cause many thousands of dollars damage and can be costly to treat.

7.0 BORERS OF DRY SEASONED TIMBERS: Borers are the larval stage of various species of beetle. The adult beetles lay their eggs within the timber. The eggs hatch out into larvae that bore through the timber. The larvae may reside totally concealed within the timber for a period of several years before passing into a dormant pupal stage. Within the pupal case they metamorphose (change) into the adult beetle that cuts a hole in the outer surface of the timber to emerge, mate and lay further eggs to continue the cycle. It is only through the presence of these emergence holes that their presence can be detected. Refer to this report (if applicable) for further information.

Anobium punctatum borer (furniture beetle). Commonly attack softwood flooring timbers, shelving timbers and timber panelling. They have the potential to cause severe timber damage if left untreated for many years. Attack by this beetle is usually observed in timbers that have been in service for 10 to 20 years or more.

Lyctus brunneus borer (powder post beetle). These borers only attack the sapwood of certain susceptible species of hardwood timber. Since it is a requirement that the structural timbers contain no more than 25% Lyctus susceptible sapwood, these borers are not normally associated with structural damage. Replacement of affected timbers is not recommended and treatment is not approved or required.

Queensland Pine Beetle borer. These borers commonly attack flooring and wall timbers. It is not possible to determine with absolute certainty whether activity exists without destruction of the timbers. We therefore recommend that it would be prudent to assume that current borer activity is present unless written evidence is available to indicate that the property has been recently treated in respect to this borer. Replacement of affected timbers is always preferred as a long term solution since, in the event of selling the property in the future it is probable that an Inspector will report the borers as active (see above). A chemical treatment to control re-infestation may be considered a less effective and lower cost option. This treatment is applied to the underside of all soft pine flooring timbers and to other affected timbers as required.

Non-Commercial borers Are those borers that attack dead trees, logs and tree stumps. These borers are generally not considered to be a threat to timber in service (timber used in the buildings). No treatment is necessary for this species.

8.0 FUNGAL DECAY (WOOD ROT) Fungal decay is more commonly known as wood rot. Many problems with timber pests are related to excessive moisture because Termites and wood rot both require heat and moisture to survive. Small sections of minor decay can often be removed and the resulting hole filled with "Builders filler".

Areas of moderate decay will require sections of timber to be replaced. Where there is severe fungal decay the entire affected timber member should be replaced, preferably with treated hardwood.

Oregon timber is highly susceptible to Fungal Decay and should be kept well painted. Oregon was once used extensively to construct pergolas and carports and the like. The use of Oregon in external applications is generally considered to be unsuitable.

9.0 MOULD: Mildew and non-wood decay fungi is commonly known as Mould and is not considered to be a timber pest. However, Mould and their spores may cause health and allergic reactions such as asthma and dermatitis in some people. No inspection for Mould was carried out at the property and no report on the presence or absence of Mould is provided.

If Mould is noted as present within the property and you are concerned as to the possible health risk resulting from its presence then you should seek advice from your Local Council, State or Commonwealth Health Department or a qualified expert such as an Industry Hygienist.

CONTACT THE INSPECTOR: Please feel free to contact the inspector who carried out this inspection. Often it is very difficult to fully explain situations, problems, access difficulties, building faults, timber pest activity and damage or their importance in a manner that is readily understandable by the reader. Should you have any difficulty in understanding anything contained within this report then you should immediately contact the inspector and have the matter explained to you. If you have any questions at all or require clarification then contact the inspector prior to acting on this report.

Available**Available**

Available upon request.

The Inspection and Report was carried out by: Jason Gruenefeld

State License Number: QBCC - Building #15460953 - PEST #PMT012962 - POOL INSP. #1198105

Contact the Inspector on: 0452 292 082

For and on Behalf of: Twinspectors



The Inspection and Report was carried out by: Tony Baldacchino
State License Number: QBCC -1076486
Contact the Inspector on: 0411 461 633
For and on Behalf of: Twinspectors

